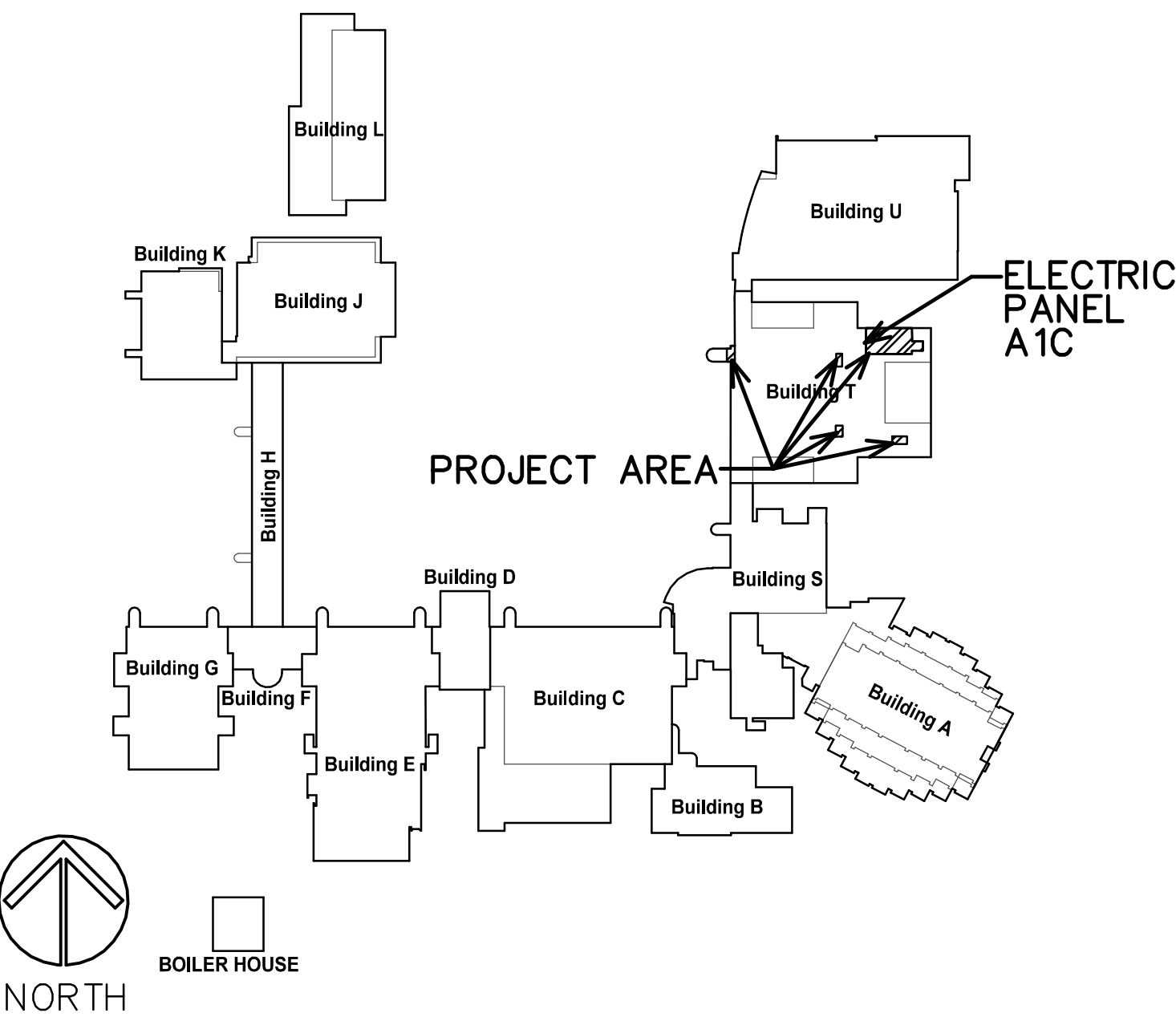
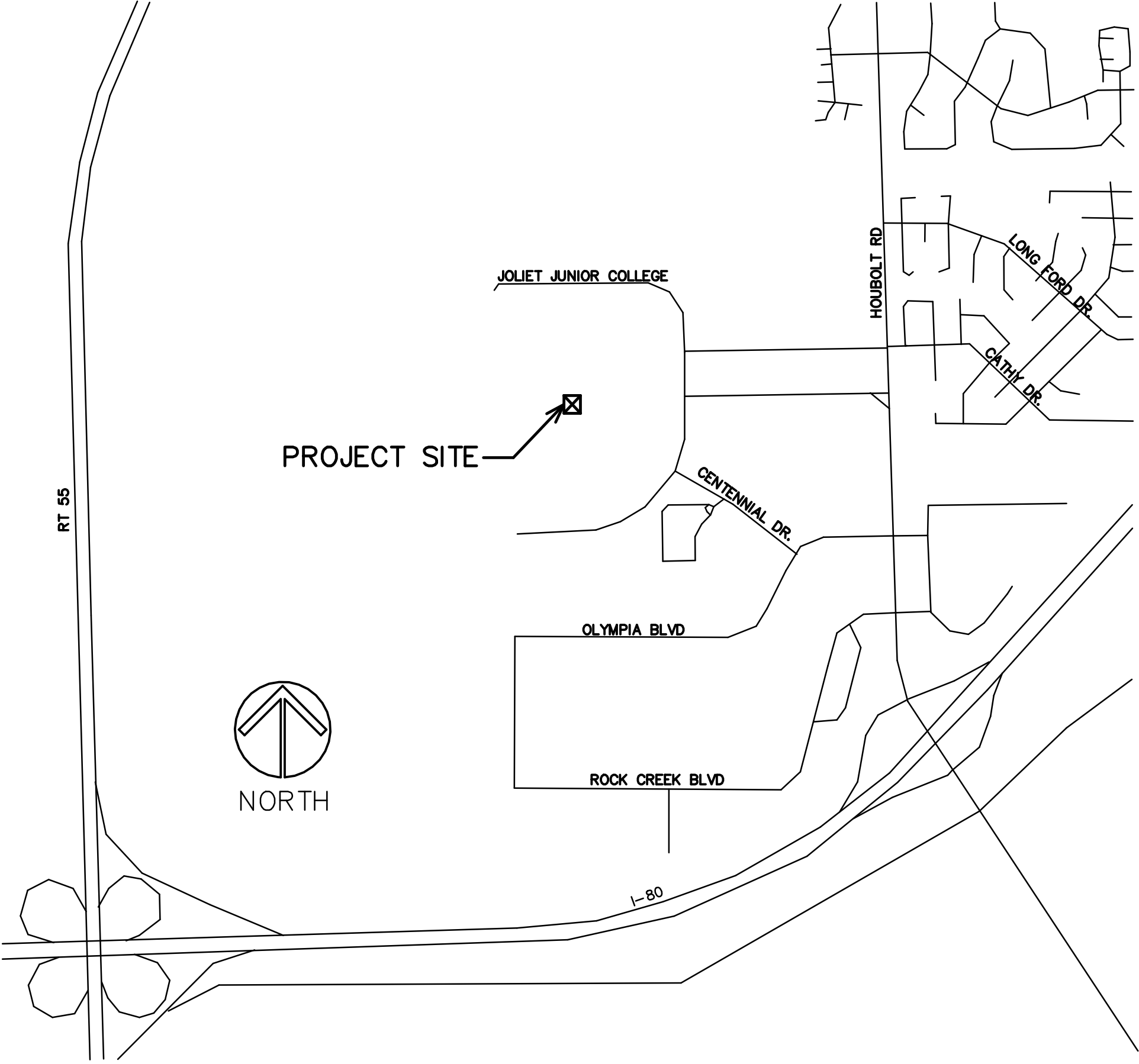


CAMPUS MAP



LOCATION MAP



INDEX OF SHEETS

- T1 PROJECT TITLE, LOCATION, INDEX OF SHEETS
- D1 PARTIAL FIRST LEVEL DEMO FLOOR PLAN
- D2 PARTIAL FIRST LEVEL DEMO CEILING PLAN
- A1 PARTIAL FIRST LEVEL FLOOR PLAN
PLUMBING NOTES ADN PLUMBING FIXTURE SCHEDULE
- A2 PARTIAL FIRST LEVEL CEILING PLAN
ELECTRICAL SPECIFICATIONS
- A3 INTERIOR ELEVATIONS, MOUNTING DIAGRAM
TYPICAL TILE WALL LAYOUT, AND DETAILS
- A4 PARTIAL FIRST FLOOR PLANS – FIRE DOORS
AND DOOR AND FRAME SCHEDULE
- A5 PARTIAL SECOND FLOOR PLANS– FIRE DOORS

NOTE:
GENERAL CONTRACTOR TO PROVIDE A \$5,000 ALLOWANCE IN HIS/HER BID FOR UNFORESEEN/MISCELLANEOUS CONDITIONS. WHEN FIGURING THIS ALLOWANCE IN THE BID, THE CONTRACTOR IS TO INCLUDE ALL NECESSARY OVERHEAD AND PROFIT TO CARRY THIS DOLLAR VOLUME. THIS ALLOWANCE IS NOT FOR THE CONTRACTOR'S BENEFIT, AND IS ONLY AUTHORIZED TO CHARGE AGAINST THIS ALLOWANCE WHEN DIRECTED AND APPROVED BY JOLIET JUNIOR COLLEGE. THE CONTRACTOR WILL BE ALLOWED TO INVOICE FOR DIRECT MATERIAL AND RAW LABOR COSTS ONLY.

TOILET ROOM RENOVATIONS

JOLIET JUNIOR COLLEGE
FIRST FLOOR – BUILDING T
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

STROMSLAND + DE YOUNG + PRYBYS
ARCHITECTURE GROUP

280 VETERANS PARKWAY
NEW LENOX, IL
PHONE: 815– 727– 1311

stromsland + de young + prybys
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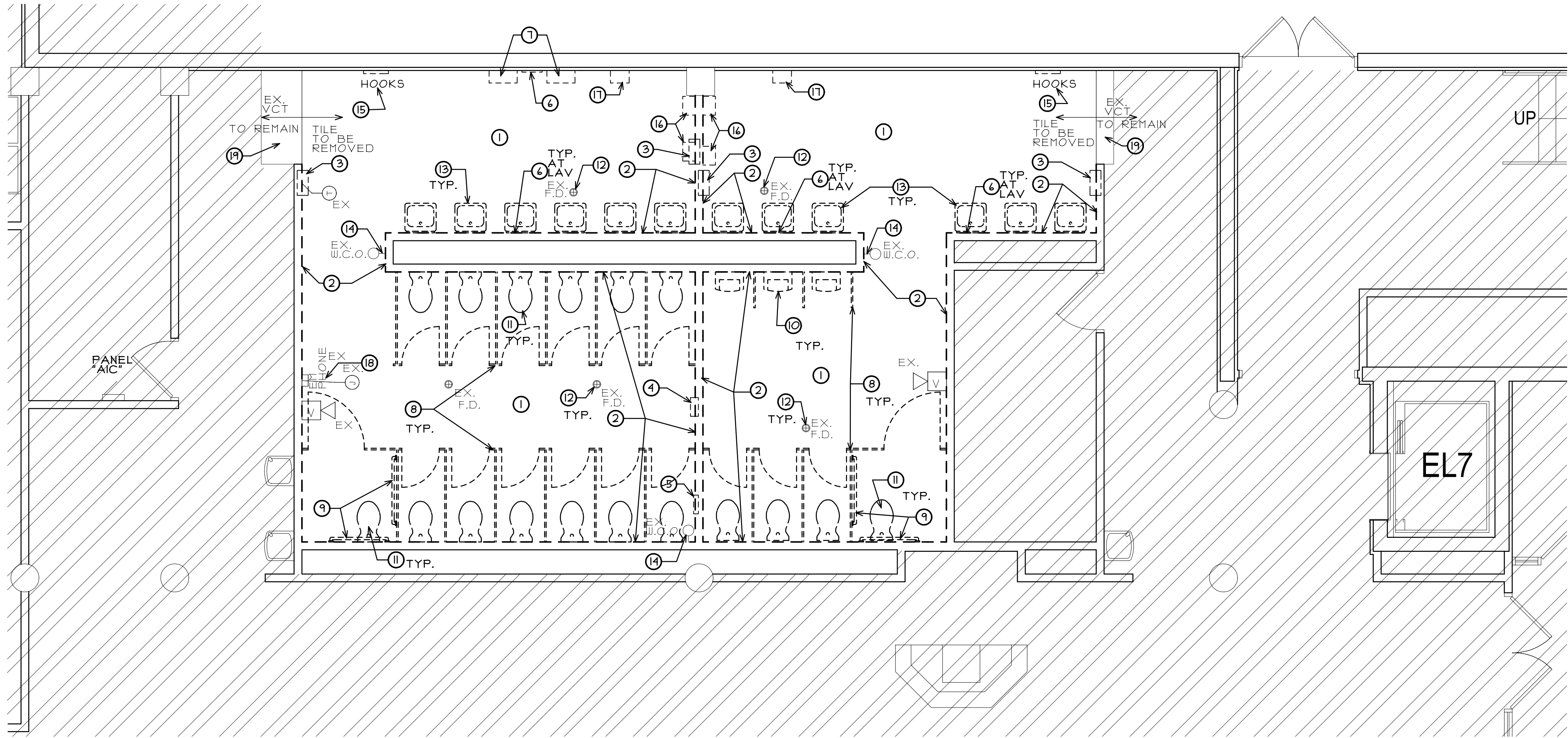
TOILET ROOM RENOVATIONS
JOLIET JUNIOR COLLEGE- BUILDING T
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

DATE:
8/26/2025
REVISED:

PROJECT NO.
2507-01

SHEET NUMBER
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OF 1 SHEETS

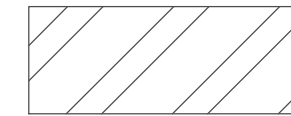
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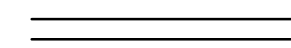
**PARTIAL FIRST FLOOR
DEMOLITION FLOOR PLAN**

NORTH SCALE: 1/4" = 1'-0"

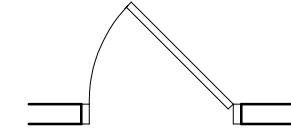
DEMOLITION PLAN LEGEND



HATCH DENOTES AREAS NOT INCLUDED IN PROJECT SCOPE.



EXISTING WALLS TO REMAIN (TYPICAL)



EXISTING DOOR & FRAME TO REMAIN (TYPICAL)



DENOTES EXISTING DEVICE TO BE REMOVED TO DEMO AND INSTALL FULL HEIGHT WALL TILE AND RE-INSTALLED.

DEMOLITION PLAN GENERAL NOTES

- ALL SALVAGED ITEMS NOT REUSED SHALL BE PLACED IN STORAGE, ON SITE, AT A LOCATION DESIGNATED BY THE OWNER.
- ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- PATCH & REPAIR HOLES AND/OR DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION DURING DEMOLITION.
- VERIFY ANY ADDITIONAL DEMOLITION WORK REQUIRED FOR INSTALLATION OF DEVICES/EQUIPMENT.
- EXISTING FURNITURE AND MOVABLE EQUIPMENT TO BE REMOVED BY OWNERS STAFF. ANYTHING THAT REMAINS CONTRACTOR TO COORDINATE WITH OWNER FOR STORAGE LOCATION. (V.I.F.)
- DEVICES INDICATED WITH AN "EX" ARE TO BE EXISTING TO REMAIN. (V.I.F.)

DEMOLITION PLAN KEY NOTES

- EXISTING TILE FLOOR, WALL BASE AND ±2" OF EXISTING THICK-SET SETTING BED TO BE COMPLETELY REMOVED DOWN TO EXISTING SLAB TO REMAIN. (V.I.F.)
- EXISTING FULL HEIGHT WALL TILE AND BACKER MATERIAL TO BE COMPLETELY REMOVED DOWN TO EXISTING STUDS TO REMAIN. (V.I.F.)
- EXISTING RECESSED TRASH TO BE REMOVED.
- EXISTING SEMI-RECESSED SANITARY NAPKIN DISPENSER TO BE REMOVED. (V.I.F.)
- EXISTING RECESSED SANITARY NAPKIN TRASH TO BE REMOVED. (V.I.F.)
- EXISTING WALL MOUNTED MIRROR TO BE REMOVED. (V.I.F.)
- EXISTING WALL MOUNTED SHELF TO BE REMOVED AND SALVAGE FOR REUSE. (V.I.F.)
- EXISTING METAL TOILET PARTITION TO BE REMOVED COMPLETELY. (V.I.F.)
- EXISTING GRAB BARS TO BE REMOVED. (V.I.F.)
- EXISTING URINAL TO BE REMOVED, EXISTING PLUMBING SUPPLY LINES AND DRAIN PIPING TO REMAIN. (V.I.F.) (U.N.O.)
- EXISTING WALL HUNG TOILET TO BE REMOVED, EXISTING SUPPLY AND WASTE LINES TO REMAIN FOR REUSE. (U.N.O.) (V.I.F.) SEE PLUMBING DRAWINGS
- EXISTING FLOOR DRAIN TO REMAIN, PROVIDE PROTECTION DURING CONSTRUCTION. (V.I.F.) ADJUST FLANGE HEIGHT IF NECESSARY TO BE FLUSH WITH NEW FLOOR FINISH.
- EXISTING WALL HUNG LAVATORY TO BE REMOVED, EXISTING PLUMBING SUPPLY LINES AND DRAIN PIPING TO BE MODIFIED AS REQUIRED FOR NEW WASH STATIONS, PLUMBING NOT REUSED TO BE BE PROPERLY CAPPED AND TERMINATED ABOVE HARD CEILING (U.N.O.). SEE FLOOR PLAN.
- EXISTING WALL CLEAN OUT COVER TO BE REMOVE AND REINSTALLED AFTER WALL WORK. PROVIDE PROTECTION DURING CONSTRUCTION. (V.I.F.)
- EXISTING WALL HUNG COAT HOOKS TO BE REMOVED. (V.I.F.)
- EXISTING ELECTRIC HAND DRYER TO BE REMOVED, EXISTING WIRING TO REMAIN FOR RE-USE. (V.I.F.)
- EXISTING SURFACE MOUNTED PAPER TOWEL DISPENSER TO BE REMOVED AND SALVAGED FOR POSSIBLE REUSE. (V.I.F.)
- EXISTING EMERGENCY PHONE AND SIGNAGE TO BE REMOVED FOR WALL DEMO WORK, SALVAGED AND REINSTALLED AFTER NEW WALL TILE IS INSTALLED.
- EXISTING VCT FLOORING AND TRANSITION TO REMAIN, PROVIDE PROTECTION DURING CONSTRUCTION.

stromsland + de young + prybys
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TOILET ROOM RENOVATIONS
JOLIET JUNIOR COLLEGE- BUILDING T
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

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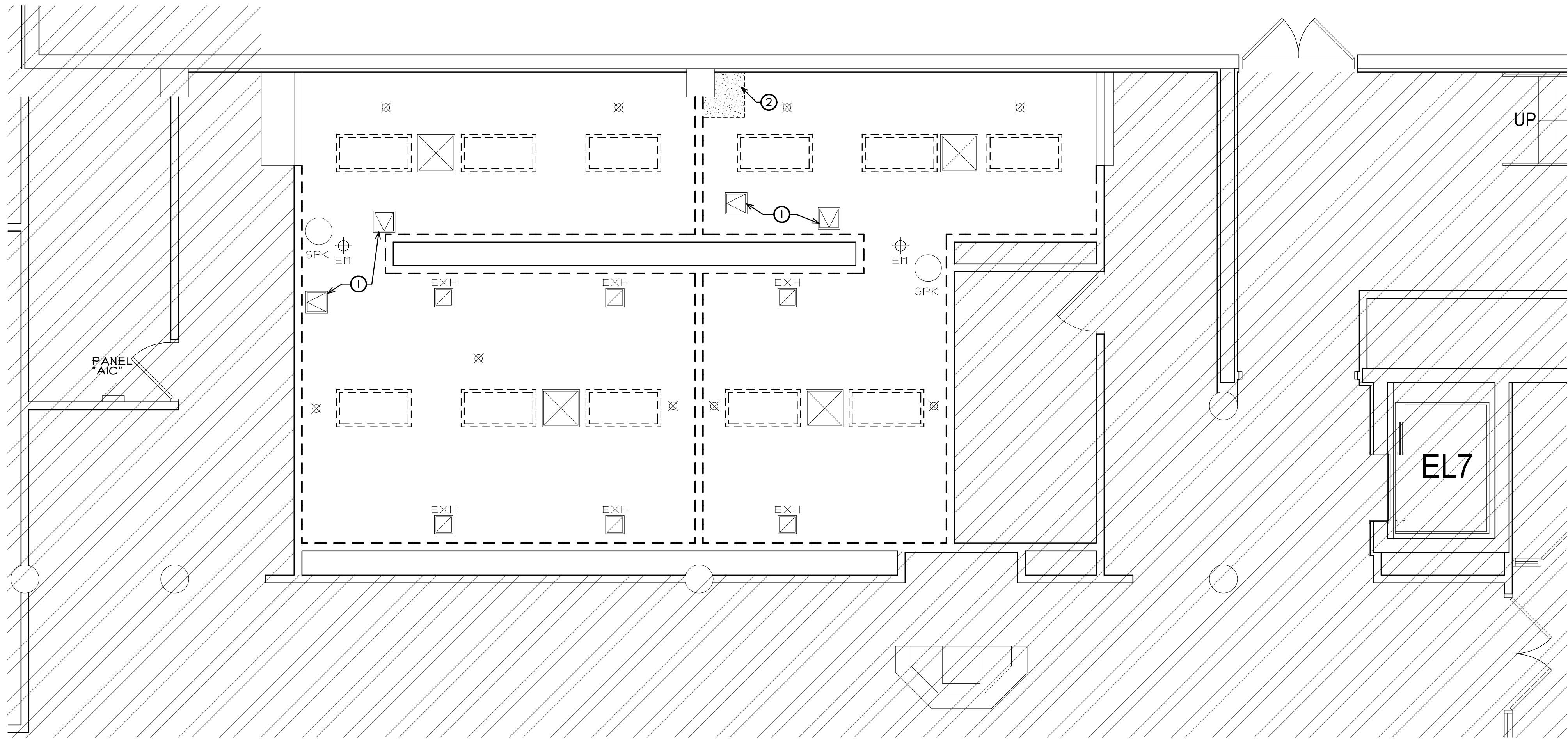
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2507-01

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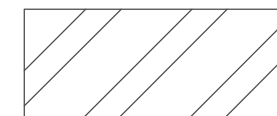

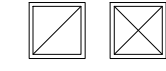




OF 2 SHEETS

P:\JC BUILDING T FIRST FLOOR TOILET ROOM RENOVATIONS\DRAWINGS\ARCH\N02.AEC



 **PARTIAL FIRST FLOOR
DEMOLITION CEILING PLAN**
NORTH SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

-  HATCH DENOTES AREAS NOT INCLUDED IN PROJECT SCOPE.
-  DENOTES EXISTING SURFACE MOUNTED LIGHT FIXTURE TO BE REMOVED. EXISTING WIRING TO REMAIN FOR REUSE.
-  DENOTES EXISTING SURFACE MOUNTED HVAC RETURN/EXHAUST REGISTER TO REMAIN. EXISTING GRILL AND DIFFUSER TO BE CLEANED. (V.I.F.)
-  DENOTES EXISTING SPEAKER TO REMAIN. (V.I.F.)
-  SPK
-  DENOTES EXISTING CEILING MOUNTED EMERGENCY LIGHT FIXTURE TO REMAIN. (V.I.F.)
-  DENOTES EXISTING SPRINKLER LOCATION TO REMAIN. (V.I.F.)

DEMOLITION PLAN GENERAL NOTES

- A. ALL SALVAGED ITEMS NOT REUSED SHALL BE PLACED IN STORAGE, ON SITE, AT A LOCATION DESIGNATED BY THE OWNER.
- B. ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- C. PATCH & REPAIR HOLES AND/OR DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION DURING DEMOLITION.
- D. VERIFY ANY ADDITIONAL DEMOLITION WORK REQUIRED FOR INSTALLATION OF DEVICES/EQUIPMENT.

DEMOLITION PLAN KEY NOTES

- ① EXISTING METAL ACCESS PANEL TO BE REMAIN. (V.I.F.)
- ② REMOVE PORTION OF EXISTING WATERDAMAGED GYPSUM BOARD CEILING. (V.I.F.) CONTRACTOR TO INVESTIGATE CAUSE OF WATER DAMAGE AND MAKE NECESSARY REPAIRS WITH COORDINATION WITH OWNER.

TOILET ROOM RENOVATIONS
JOLIET JUNIOR COLLEGE- BUILDING T
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

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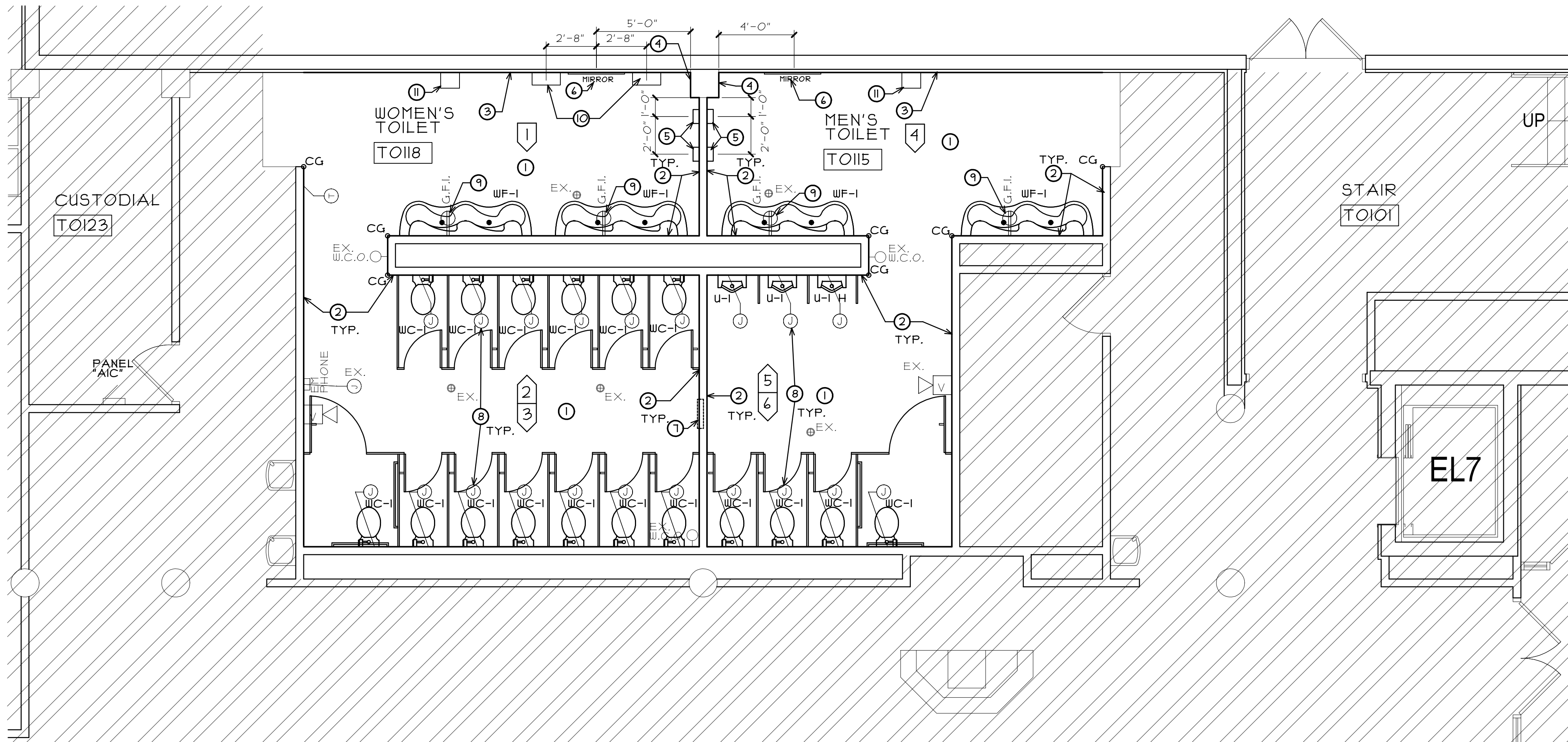
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2507-01

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OF 2 SHEETS

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PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

W.F.-1 (A.D.A. COMPLIANT)

3 STATION LAVATORY SYSTEM (BRADLEY EXPRESS LAVATORY SYSTEM MG-3/IRP). COLOR TO BE SELECTED.

W.C.-1 (A.D.A. COMPLIANT)

WATER CLOSET- ACCESSIBLE, WALL MOUNTED, FLUSH VALVE TYPE, WHITE VITREOUS CHINA, SIPHON JET, WATER SAVING, ELONGATED BOWL, 1-1/2" TOP SPUD, BOLT CAPS
FACILITY STANDARD: AMERICAN STANDARD (AFWALL FLOWISE 335I.528)
CARRIER: COORDINATE WITH EXISTING

SEAT- WHITE, EXTRA HEAVY, OPEN FRONT, INJECTION MOLDED SOLID ANTI- MICROBIAL PLASTIC, CHECK HINGE, STAINLESS STEEL OR PLATED STEEL POSTS AND NUTS.

ACCEPTABLE MANUFACTURERS: BEMIS (3155C), CHURCH (3155C), BENEKE (533PC), OLSONITE (95), SAME AS WATER CLOSET MANUFACTURER

FLUSH VALVE - EXPOSED, SENSOR OPERATED, HARD WIRED, CHROME PLATED 1" I.P.S. SCREWDRIVER STOP-CHECK VALVE, CHEMICAL RESISTANT MATERIAL, VACUUM BREAKER, WALL AND SPUD FLANGES, 1/28 G.P.F., OVER-RIDE BUTTON, RANGE ADJUSTMENT SCREW, 3 YEAR WARRANTY.

FACILITY STANDARD: SLOAN (G2 RESS-C-1.6-HW)

U-1 AND U-1 H (A.D.A. COMPLIANT)

URINAL- WALL MOUNTED, FLUSH VALVE TYPE, WHITE VITREOUS CHINA, SIPHON JET, WATER SAVING, 3/4" TOP SPUD.

FACILITY STANDARD: AMERICAN STANDARD (WASHBROOK FLOWISE 459O.OOI)

CARRIER: COORDINATE WITH EXISTING

FLUSH VALVE - EXPOSED, SENSOR OPERATED, HARDWIRED, CHROME PLATED 1" I.P.S. SCREWDRIVER STOP-CHECK VALVE, CHEMICAL RESISTANT MATERIAL, VACUUM BREAKER, WALL AND SPUD FLANGES, 0.5 G.P.F., OVER-RIDE BUTTON, RANGE ADJUSTMENT SCREW, 3 YEAR WARRANTY.

FACILITY STANDARD: SLOAN (G2 RESS-U-1O-HW)

* VERIFY ALL FIXTURES WITH OWNER PRIOR TO PURCHASE AND APPROVED SHOP DRAWINGS

GENERAL PLUMBING NOTES

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND VERIFY ALL EXISTING SYSTEMS TO DETERMINE EXTENT OF DEMOLITION WORK. ANY ITEMS NOT SPECIFICALLY INDICATED ON DRAWINGS THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO BID FOR A CLARIFICATION.
- CONTRACTOR SHALL SCHEDULE ALL WORK TO AVOID DOWNTIME AND INCONVENIENCE TO OWNER. OWNER'S EXISTING FACILITY SHALL REMAIN IN OPERATION AT ALL TIMES. ALL REQUIRED SHUTDOWN OF EXISTING UTILITIES SHALL BE SCHEDULED WITH OWNER'S OPERATING PERSONNEL.
- ALL CUTTING AND PATCHING REQUIRED FOR THE REMOVAL AND INSTALLATION OF ALL EXISTING AND NEW PIPING AND FIXTURES SHALL BE DONE BY THE PLUMBING CONTRACTOR AND COORDINATED WITH OWNER.
- CONTRACTOR SHALL REPAIR OR REPLACE ALL PIPING INSULATION DAMAGED DURING NEW CONSTRUCTION WORK. PATCH INSULATION TO MATCH EXISTING IN A NEAT AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL VERIFY ALL EXISTING SERVICES PRIOR TO START OF NEW CONSTRUCTION. COORDINATE AND ADJUST NEW WORK AS REQUIRED TO AVOID CONFLICTS WITH EXISTING SERVICES.
- PROVIDE THE FOLLOWING PIPE AND FITTING MATERIALS FOR THE APPLICATIONS INDICATED:
 - NEW WASTE PIPING TO MATCH EXISTING.
 - NEW WATER LINES TO BE TYPE "L" COPPER PIPING.
- ALL NEW PLUMBING LINES SHALL BE THOROUGHLY TESTED (WATER OR AIR) BEFORE BEING COVERED WITH OR CONCEALED BY CONSTRUCTION AND SHALL BE FREE FROM ALL IMPERFECTION.
- NEW SANITARY PIPING SHALL BE SUBJECTED TO A HYDROSTATIC TEST OF NOT LESS THAN TEN FEET OF WATER COLUMN AND PROVEN TIGHT.
- NEW WATER PIPING SHALL BE TESTED WITH WATER UNDER PRESSURE OF 150 PSI FOR A PERIOD OF THREE HOURS AND MADE TIGHT AT THIS PRESSURE.
- AFTER INSTALLATION AND TESTING THOROUGHLY FLUSH ALL PIPING TO REMOVE SOLIDS OR CONTAMINATED MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE. SUFFICIENT FLUSHING WATER SHALL BE INTRODUCED AND THIS FLOW SHALL BE MAINTAINED UNTIL THE DISCHARGE IS CLEAN AND CLEAR AND DOES NOT SHOW EVIDENCE OF SILT OR FOREIGN MATTER WHEN A SAMPLE IS VISUALLY INSPECTED.

ROOM FINISHES

FLOOR: 6X6 PORCELAIN TILE - CROSSVILLE, COLOR BLOX MOSAIC, COTTON SHEETS.

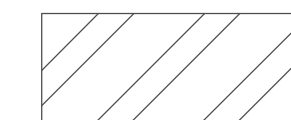
BASE: 4" X 12 TILE COVE BASE- CROSSVILLE, MATCH FLOOR TILE COLOR AND PATTERN.

WALLS: (SEE TILE LAYOUT ON SHEET A3) GROUT COLOR TEC #421 PEWTER OR APPROVED EQUAL
- TILE-1, 3X3 WALL TILES, CROSSVILLE, COLOR BLOX 2.0, SAND BOX
- TILE-2, 3X3 WALL TILES, CROSSVILLE, COLOR BLOX 2.0, I SEE THE MOON
- TILE-3, 1X1 WALL TILE, CROSSVILLE, GLASS BLOX, AMTHYST.

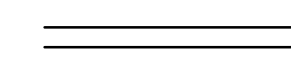
TOILET PARTITIONS: ASI GLOBAL PARTITIONS, POWDER COATED, CHARCOAL #445.

CEILING: PAINT (PNT-1), SHERWIN WILLIAMS, SNOWBOUND, SW1004.

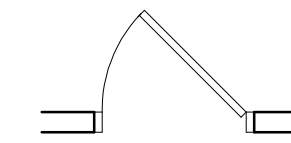
FLOOR PLAN LEGEND



HATCH DENOTES AREAS NOT INCLUDED IN PROJECT SCOPE.



EXISTING WALLS TO REMAIN (TYPICAL)



EXISTING DOOR & FRAME TO REMAIN (TYPICAL)

EX

DENOTES EXISTING DEVICE TO REMAIN AND DEVICE TO REMAIN ON EXISTING CIRCUIT (WALL MOUNTED DEVICES TO BE REMOVED AND REINSTALLED IN SAME LOCATION AFTER NEW WALL TILE IS INSTALLED)



DENOTES INTERIOR ELEVATION MARKER. SEE SHEET A3



DENOTES FULL HEIGHT STAINLESS STEEL METAL CORNER PROTECTION STRIPS. START ABOVE WALL BASE AND RUN FULL HEIGHT TO CEILING ABOVE



DENOTES NEW PLUMBING FIXTURES (TYPE INDICATED) MOUNTED AT EXISTING LOCATIONS. (U.N.O.) SEE ELEVATIONS, MOUNTING DIAGRAM AND PLUMBING FIXTURE SCHEDULE FOR MORE INFORMATION AND TYPE.

GENERAL NOTES

- NEW M-E-P SERVICES IN EXISTING CMU WALLS MAY BE CHANNEL CUT AND PATCHED WITH "LIKE" MATERIALS. COORDINATE WITH M.E.P.
- PATCH & REPAIR ALL EXISTING GYPSUM BOARD SURFACES TO "LIKE NEW" CONDITION PRIOR TO INSTALLING NEW FINISHES.
- ALL NEW ELECTRIC RECEPTACLES AND LIGHTING CONNECT BACK TO EXISTING CIRCUITS ABOVE CEILING. (V.I.F.)
- EXISTING POWER IN MENS ROOM, TOILET, AND WOMENS ROOM, TOILET, GOES BACK TO PANEL "AIC" IN CUSTODIAL CLOSET TOI23. (V.I.F.)
- ELECTRICAL CONTRACTOR TO VERIFY EXACT CIRCUITS IN FIELD.
- IF NEW CIRCUITS ARE REQUIRED EXISTING PANEL DIRECTORY TO BE UPDATED

FLOOR PLAN KEY NOTES

- PROVIDE NEW 6X6 FLOOR TILE FLOORING WITH 4" HIGH TILE WALL BASE. SEE ROOM FINISH SCHEDULE. FLOOR TILE TO BE SET WITH THINSET MORTAR, ON WATER PROOF MEMBRANE/CRACK ISOLATION MEMBRANE ON 1/2" THICKSET SETTING BED (SLOPE SETTING BED TO EXISTING FLOOR DRAINS) ON EXISTING RECESSED CONCRETE SLAB (FINISH TILE TO BE FLUSH WITH CORRIDOR FLOOR AND TOP OF EXISTING FLOOR DRAINS).
- PROVIDE NEW FULL HEIGHT WALL TILE ON ALL WALLS OF TOILET ROOMS ON NEW TILE BACKER BOARD ON EXISTING METAL STUDS. SEE TILE LAYOUT DIAGRAM ON SHEET A3 AND ROOM FINISH SCHEDULE. (TYPICAL ON ALL WALLS WHERE TILE AND GYPSUM BOARD HAVE BEEN REMOVED)
- PROVIDE NEW FULL HEIGHT WALL TILE ON EXISTING GYPSUM BOARD. (V.I.F.) SEE TILE LAYOUT DIAGRAM ON SHEET A3 AND ROOM FINISH SCHEDULE.
- NEW FULL HEIGHT WALL TILE TO CONTINUE ON CONCRETE COLUMN ALL SIDES. (V.I.F.)
- PROVIDE NEW WALL MOUNTED THIN HAND DRYERS WITH STAINLESS STEEL WALL GUARD. CONNECT TO EXISTING HAND DRYER WIRING. (V.I.F.) SEE MOUNTING DIAGRAM COORDINATE FINAL LOCATION WITH NEW TILE JOINTS
- PROVIDE NEW FRAMED MIRROR. SEE MOUNTING DIAGRAM
- PROVIDE NEW SEMI-RECESSED NAPKIN/TAMPON DISPENSER AT LOCATION OF REMOVED UNIT. MODIFY OPENING AS REQUIRED FOR SIZE AND PLACEMENT OF NEW UNIT. SEE MOUNTING DIAGRAM.
- PROVIDE RECESSED JUNCTION BOX AND CONDUIT IN EXISTING GYPSUM BOARD AND METAL STUD WALL FOR POWER CONNECT AT NEW TOILET/URINAL SENSOR FLUSH VALVE. CONNECT TO LOCAL CIRCUIT ABOVE CEILING. PROVIDE BRUSHED STAINLESS STEEL COVER PLATE. (V.I.F.)
- PROVIDE NEW GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET FOR NEW WASH STATION. CONNECT TO EXISTING LOCAL CIRCUIT ABOVE CEILING. DEVICE COLOR TO MATCH EXISTING WITH BRUSHED STAINLESS STEEL COVER PLATE.
- NEW LOCATION FOR SALVAGED STAINLESS STEEL SHELF. MOUNT TOP AT 48"
- LOCATION FOR OWNER PROVIDED CONTRACTOR INSTALLED SURFACE MOUNTED PAPER TOWEL DISPENSER. COORDINATE WITH OWNER FOR FINAL LOCATION

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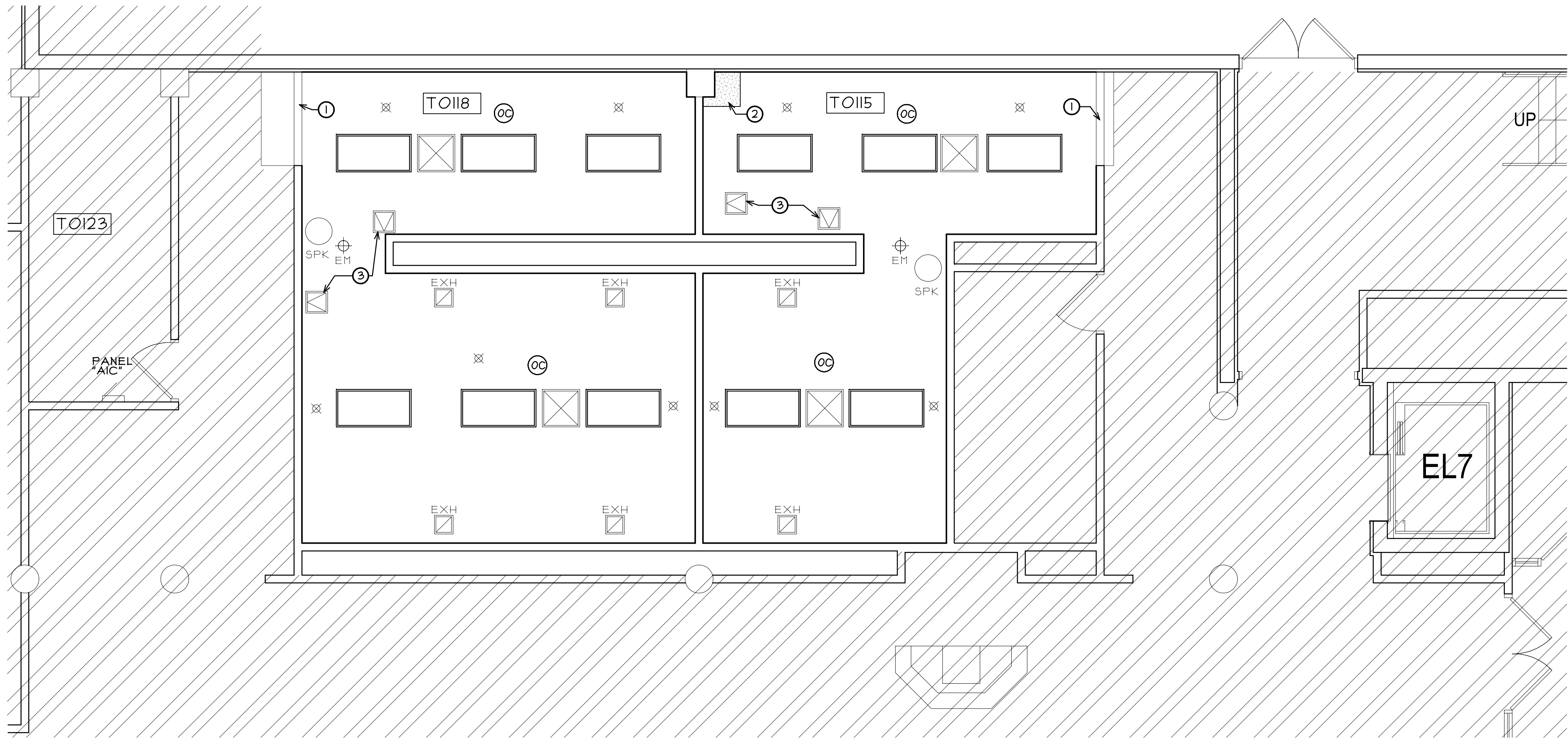
PROJECT NO.
2507-01

SHEET NUMBER

A1

OF 5 SHEETS

F:\JJC BUILDING T FIRST FLOOR TOILET ROOM RENOVATIONS\DRAWINGS\ARCH\A2.AEC



**PARTIAL FIRST FLOOR
REFLECTED CEILING PLAN**
NORTH SCALE: 1/4" = 1'-0"

ELECTRICAL SPECIFICATIONS

- 2.01. GENERAL REQUIREMENTS
- A. THE ARCHITECT'S GENERAL CONDITIONS FORM A PART OF THIS SPECIFICATION AND WHERE APPLICABLE, SHALL GOVERN ALL WORK. ALL NOTES ON THE DRAWINGS SHALL ALSO APPLY.
- 2.02. SCOPE OF CONTRACT
- A. WORK INCLUDED:
- THE WORK INCLUDED UNDER THE ELECTRICAL CONTRACT SHALL BE THE FURNISHING OF ALL TRANSPORTATION, LABOR, MATERIALS, SERVICES, PROTECTION, SCAFFOLDING, APPARATUS AND UTENSILS NECESSARY FOR THE PERFORMANCE OF ALL WORK SHOWN ON THE ELECTRICAL WIRING DRAWINGS AND DEFINED AND DESCRIBED IN THE ELECTRICAL WIRING SPECIFICATIONS.
 - THE CONTRACTOR MUST EXAMINE THE SPECIFICATIONS FOR GENERAL CONTRACT WORK AS WELL AS ALL OTHER WORK CLASSIFICATIONS TO BE CERTAIN OF THE EXPLICIT EXTENT OF THE WORK INCLUDED IN HIS OWN CLASSIFICATION.
 - THE FOLLOWING LIST OF ITEMS IS INTENDED AS A GUIDE ONLY AND DOES NOT NECESSARILY LIST ALL ITEMS OF WORK SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN:
 - ALL LIGHTING FEEDERS, FEEDERS TO MOTORS AND POWER PANELS AS SHOWN ON PLANS.
 - ALL LIGHTING BRANCH WIRING COMPLETE AS SHOWN.
- 2.03. LAWS AND ORDINANCES
- A. THIS CONTRACTOR SHALL COMPLY WITH THE ELECTRICAL CODE AND ALL ORDINANCES OF THE LOCAL AND ALL STATE LAWS; THE PUBLISHED RULES, REGULATIONS AND REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AND ALL OTHER DULY CONSTITUTED CODES.
- B. THIS CONTRACTOR HEREBY BINDS HIMSELF TO PROTECT THE OWNER AND THE ARCHITECT-ENGINEER AND SAVE THEM HARMLESS FROM ALL DAMAGES ARISING FROM VIOLATION OF PUBLIC ORDINANCES, LAWS, RULES, REGULATIONS AND REQUIREMENTS OF ANY KIND, RESULTING FROM HIS OPERATIONS UNDER THIS CONTRACT.
- 2.04. TIME OF ERECTION AND COMPLETION
- A. THIS CONTRACTOR WILL BE EXPECTED TO FURNISH ALL EQUIPMENT AND MATERIALS PROMPTLY AND SHALL PROCEED WITH THE WORK WITHOUT DELAY TO MEET THE CONSTRUCTION PROGRAM. AS TIME IS THE ESSENCE OF THE CONTRACT, THIS CONTRACTOR SHALL PROVIDE AN ADEQUATE PLANT AND ORGANIZATION TO PROSECUTE THE WORK TO COMPLETION WITH THE UTMOST DISPATCH AND WITHIN THE SPECIFIED CONTRACT TIME.
- 3.01. CONDUIT AND RACEWAYS
- A. ONLY CONDUIT ABOVE FALSE CEILING & IN WALLS SHALL BE ELECTRIC METALLIC TUBING AS MANUFACTURED BY YOUNGSTOWN, TRIANGLE REPUBLIC OR ALLIED SHEET & TUBE. CONDUIT FITTINGS SHALL BE COMPRESSION TYPE AS MANUFACTURED BY APPLETON OR THOMAS & BETTS.
- C. FOR CONDUITS 1/4" AND LARGER, INSULATING BUSHINGS SHALL BE USED- THOMAS & BETTS COMPANY OR APPLETON ELECTRIC PRODUCTS COMPANY.
- D. SIZE OF CONDUIT SHALL COMPLY WITH CODE REQUIREMENTS FOR TYPE OF WIRE AND CABLE USED EXCEPT THAT NO CONDUIT SMALLER THAN 1" FOR HOMERUNS SHALL BE INSTALLED IN SLABS, ALL OTHERS 3/4" MIN.
- E. FURNISH AND INSTALL ALL RACEWAYS FOR TELEPHONE, CRTs, AND BRANCH WIRING AS REQUIRED.
- F. CONDUITS SHALL NOT BE SUPPORTED FROM DROPPED CEILING SYSTEMS OR PIPING/ MECHANICAL DUCT SYSTEMS.
- 5.01. CABLE AND WIRE
- A. ALL CABLE AND WIRE FOR POWER AND LIGHT SHALL BE 600 VOLT & INSTALLED IN CONDUIT EXCEPT AS OTHERWISE SPECIFIED HEREIN AND SHALL BE OF TYPE AS SPECIFIED HEREINAFTER UNLESS OTHERWISE SHOWN ON DRAWINGS.
- B. CABLE AND WIRE FOR FEEDERS SHALL BE THINN INSULATED, CONFORMING TO ALL THE REQUIREMENTS OF FEDERAL SPECIFICATIONS J-C 124C.
- C. WIRE FOR BRANCH WIRING INSTALLED IN WIRING SPACE OF LIGHTING FIXTURES SHALL BE HEAT-RESISTANT THERMOPLASTIC 90°C INSULATION, TYPE THHN. ALL WIRE SHALL BE PURE COPPER OF SIZE NOTED ON DRAWINGS. COPPER SHALL HAVE 98% CONDUCTIVITY.
- E. WIRE, EXCEPT AS OTHERWISE NOTED, SHALL NOT BE LESS THAN No. 12 AWG AND WIRE OF No. 8 AWG AND LARGER SHALL BE STRANDED.
- 10.01. LIGHTING FIXTURES, SUPPORTS
- A. PROVIDE PROPER SUPPORT FOR ALL LIGHTING FIXTURES, DROPPED CEILING SYSTEM SHALL NOT BE USED TO SUPPORT LIGHT FIXTURES, INCLUDE IN BID ALL MATERIALS REQUIRED.
- 10.03. GUARANTEE
- A. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE ARCHITECT-ENGINEER. CONTRACTOR SHALL REPLACE ALL DEFECTIVE MATERIALS OR CORRECT POOR WORKMANSHIP AT NO COST TO THE OWNER-ARCHITECT-ENGINEER.
- 11.01
- A. IT SHALL BE THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY CODE VIOLATIONS, ERRORS, OMISSIONS OR DISCREPANCIES ON THE DRAWINGS PREVIOUS TO THE SUBMITTAL OF BID, FAILURE TO COMPLY WITH THE ABOVE WILL NOT BE CAUSE FOR ANY ADDITIONAL COMPENSATION AFTER BID.
- 14.01
- A. ALL 120 VOLT HOMERUNS OVER 80' FROM PANEL SHALL BE #10 AWG MINIMUM.
- 16.02.
- A. ALL NEW LIGHT FIXTURES SHALL BE UL LABELED.

CEILING PLAN LEGEND

- HATCH DENOTES AREAS NOT INCLUDED IN PROJECT SCOPE.
- DENOTES EXISTING SURFACE MOUNTED HVAC RETURN/EXHAUST REGISTER TO REMAIN. EXISTING DEVICES TO BE CLEANED AND RE-INSTALLED.
- DENOTES EXISTING SPEAKER TO REMAIN. (V.I.F.)
- DENOTES EXISTING SURFACE MOUNTED EMERGENCY LIGHT FIXTURE TO REMAIN. (V.I.F.)
- DENOTES EXISTING SPRINKLER TO REMAIN. (V.I.F.)
- DENOTES 2X4 LED LAY-IN LIGHT FIXTURE (CPANL 2X4 ALO6 SUUIT H2, 40005K, HVOLT, BY LITHONIA LIGHTING OR APPROVED EQUALIN EXISTING GYPSUM BOARD CEILING AND CONNECT TO EXISTING ROOM WIRING.
- DENOTES NEW CEILING MOUNTED OCCUPANCY SENSOR. CONNECT TO EXISTING ROOM SWITCHING. (V.I.F.) (FACILITY STANDARD LEVITRON OSC05-H0W)

CEILING PLAN KEY NOTES

- ① EXISTING GYPSUM BOARD CEILING TO RECEIVE NEW PAINT FINISH.
- ② PATCH IN EXISTING GYPSUM BOARD CEILING WITH "LIKE MATERIALS" AT LOCATION FOR DAMAGED GYPSUM BOARD. (V.I.F.)
- ③ EXISTING METAL ACCESS PANEL TO BE PREPPED AND PAINTED TO MATCH CEILING. (V.I.F.)

TOILET ROOM RENOVATIONS
JOLIET JUNIOR COLLEGE- BUILDING T
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

DATE: 8/26/2025
REVISED:

PROJECT NO.
2507-01

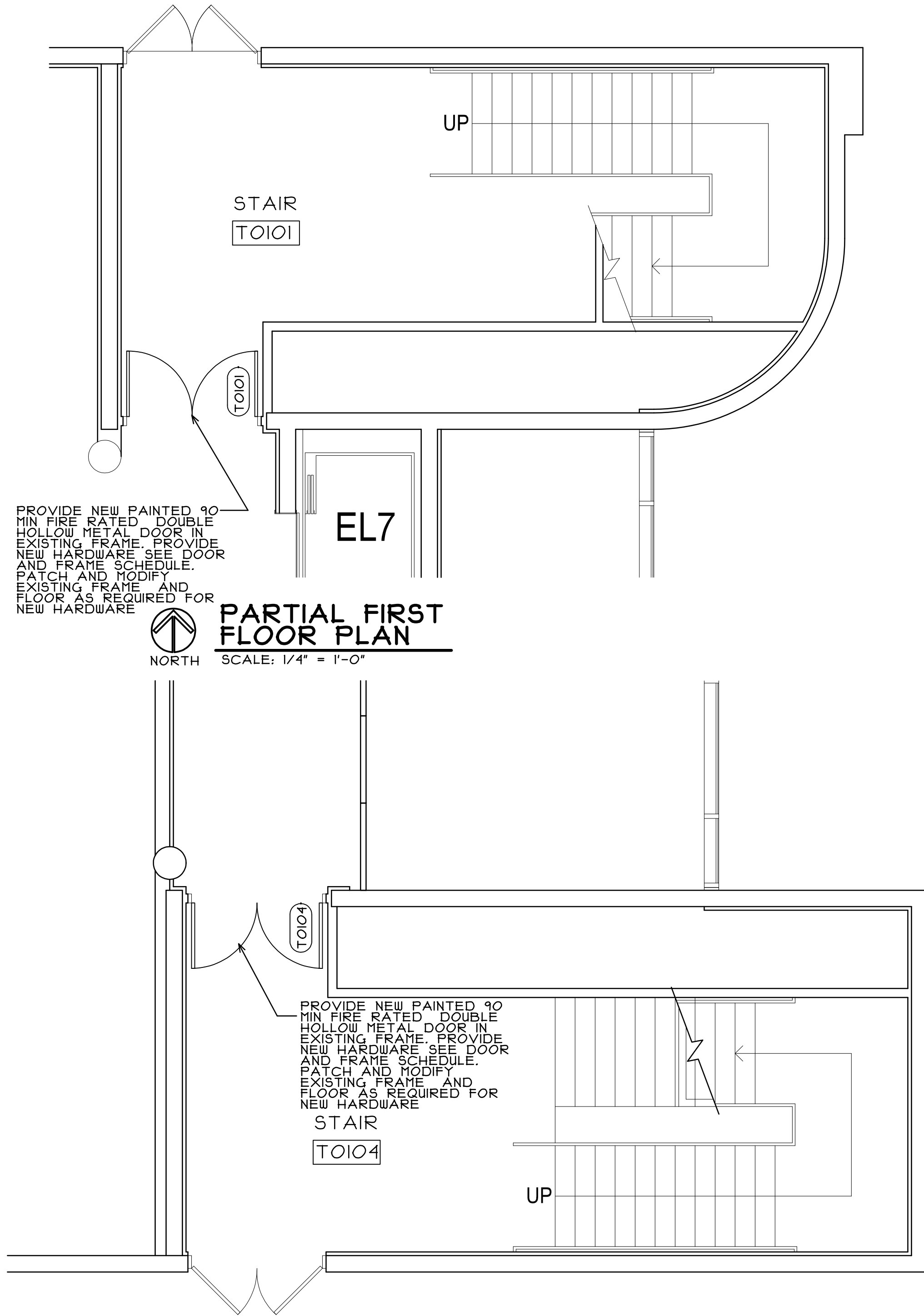
SHEET NUMBER

A2

OF 5 SHEETS

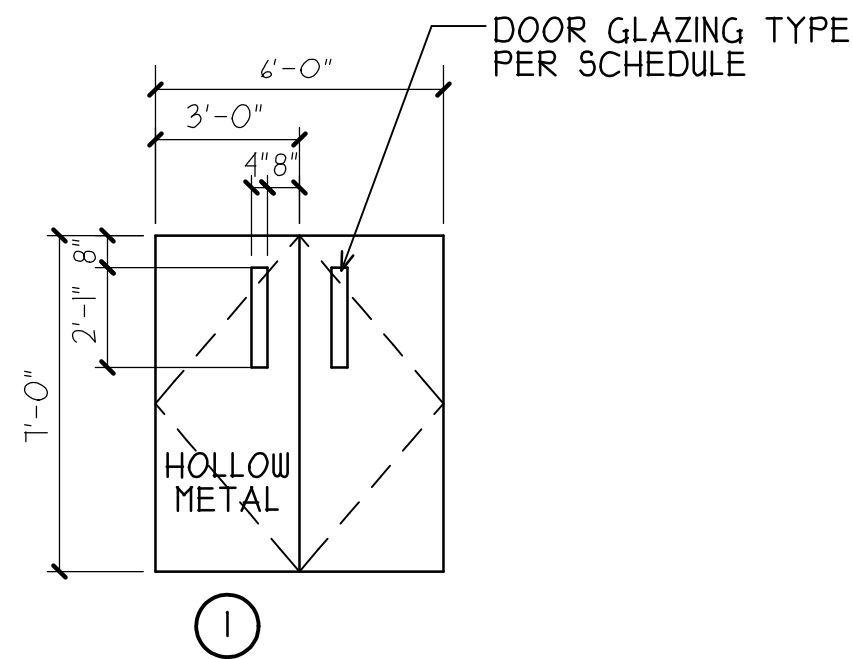
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F:\JJC BUILDING T FIRST FLOOR TOILET ROOM RENOVATIONS\DRAWINGS\ARCH\A4.AEC



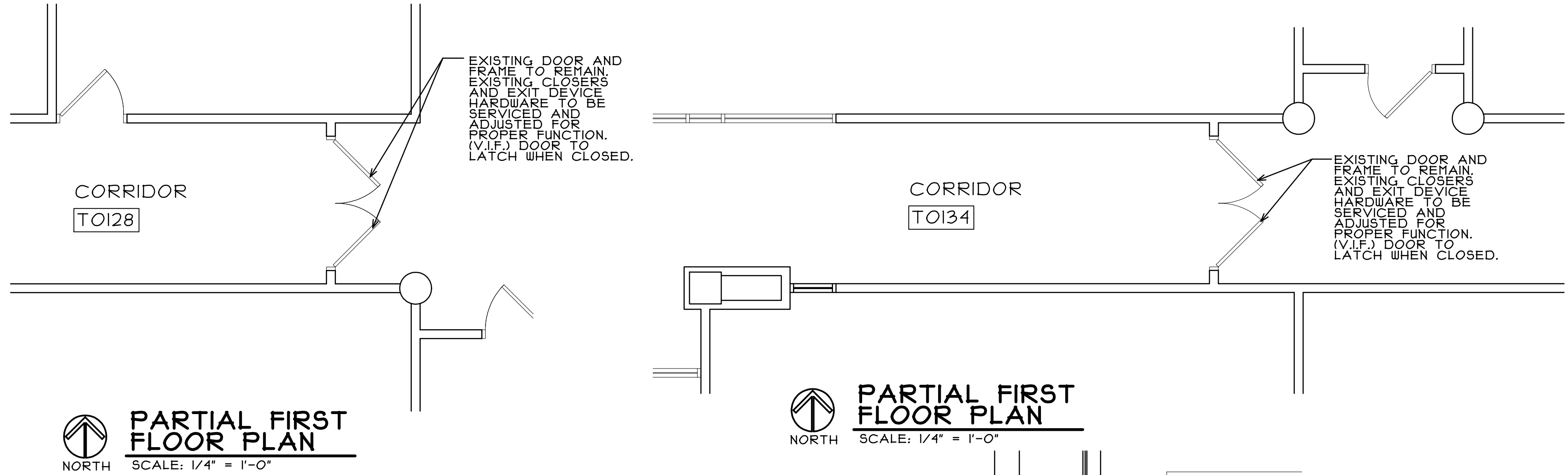
PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



DOOR AND FRAME TYPES

SCALE: 1/4" = 1'-0"



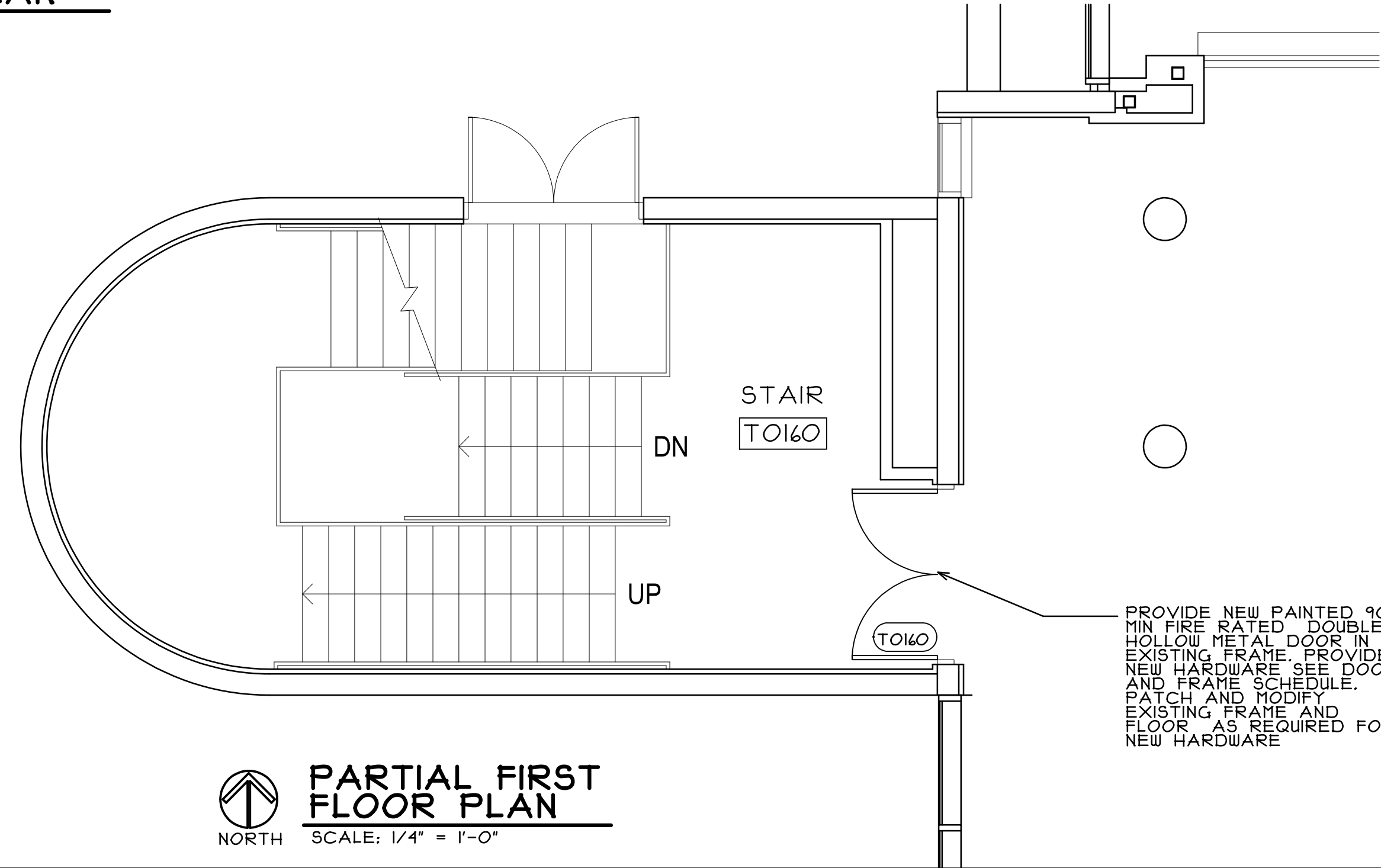
PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR & FRAME SCHEDULE

MARK	LOCATION	SIZE	DOOR			FRAME			GLASS	LABEL	HARDWARE SET	REMARKS
			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
TO101	STAIR	(2)3'-0" X 1'-0" X 1 3/4"	I	HMTL	PAINT	EX	EX	EX	GI	90MIN	#1	
TO104	STAIR	(2)3'-0" X 1'-0" X 1 3/4"	I	HMTL	PAINT	EX	EX	EX	GI	90MIN	#1	
TO160	STAIR	(2)3'-0" X 1'-0" X 1 3/4"	I	HMTL	PANIT	EX	EX	EX	GI	90MIN	#1	
TO201	STAIR	(2)3'-0" X 1'-0" X 1 3/4"	I	HMTL	PAINT	EX	EX	EX	GI	90MIN	#2	
TO204	STAIR	-	-	-	-	EX	EX	EX	---	---	#3	
TO260	STAIR	(2)3'-0" X 1'-0" X 1 3/4"	I	HMTL	PAINT	EX	EX	EX	GI	90MIN	#1	

SCHEDULE ABBREVIATIONS

HMTL HOLLOW METAL
EX EXISTING

GENERAL NOTES

ALL HOLLOW METAL DOORS AND FRAMES TO RECEIVE NEW SEMI-GLOSS PAINT FINISH PER SPECIFICATIONS.

GLASS TYPES

GI 90 MIN FIRE RATED CLEAR LAMINATED GLASS

HARDWARE SETS

HS1:
6 HINGES - MCKINNEY TA2T14-4.5X4.5 US24D.
2 EXIT DEVICES WITH EXPOSED VERTICAL RODS- CORBIN RUSSWIN, ED4400-I4, N810ET, 626
2 DOOR CLOSER- NORTON, PR1500US24D
(2)1/2" HIGH METAL KICK PLATE, ROCKWOOD, K1050
WALL STOP/FLOOR STOP - EXISTING.
6 DOOR SILENCERS - IVES SR64 GREY.

HS2:
6 HINGES - MCKINNEY TA2T14-4.5X4.5 US24D.
2 EXIT DEVICES WITH EXPOSED VERTICAL RODS- CORBIN RUSSWIN, ED4400-I4, N810ET, 626
2 DOOR CLOSER- NORTON, PR1500US24D
(2)1/2" HIGH METAL KICK PLATE, ROCKWOOD, K1050
2 WALL STOP-IVES WS401/402CCVUS24D.
2 FLOOR STOP- IVES FS11US24D.
6 DOOR SILENCERS - IVES SR64 GREY.

HS3:
HINGES - EXISTING.
2 EXIT DEVICES WITH EXPOSED VERTICAL RODS- CORBIN RUSSWIN, ED4400-I4, N810ET, 626
2 DOOR CLOSER- EXISTING
6 HIGH METAL KICK PLATE, EXISTING
WALL STOP/FLOOR STOP - EXISTING.
6 DOOR SILENCERS - EXISTING.

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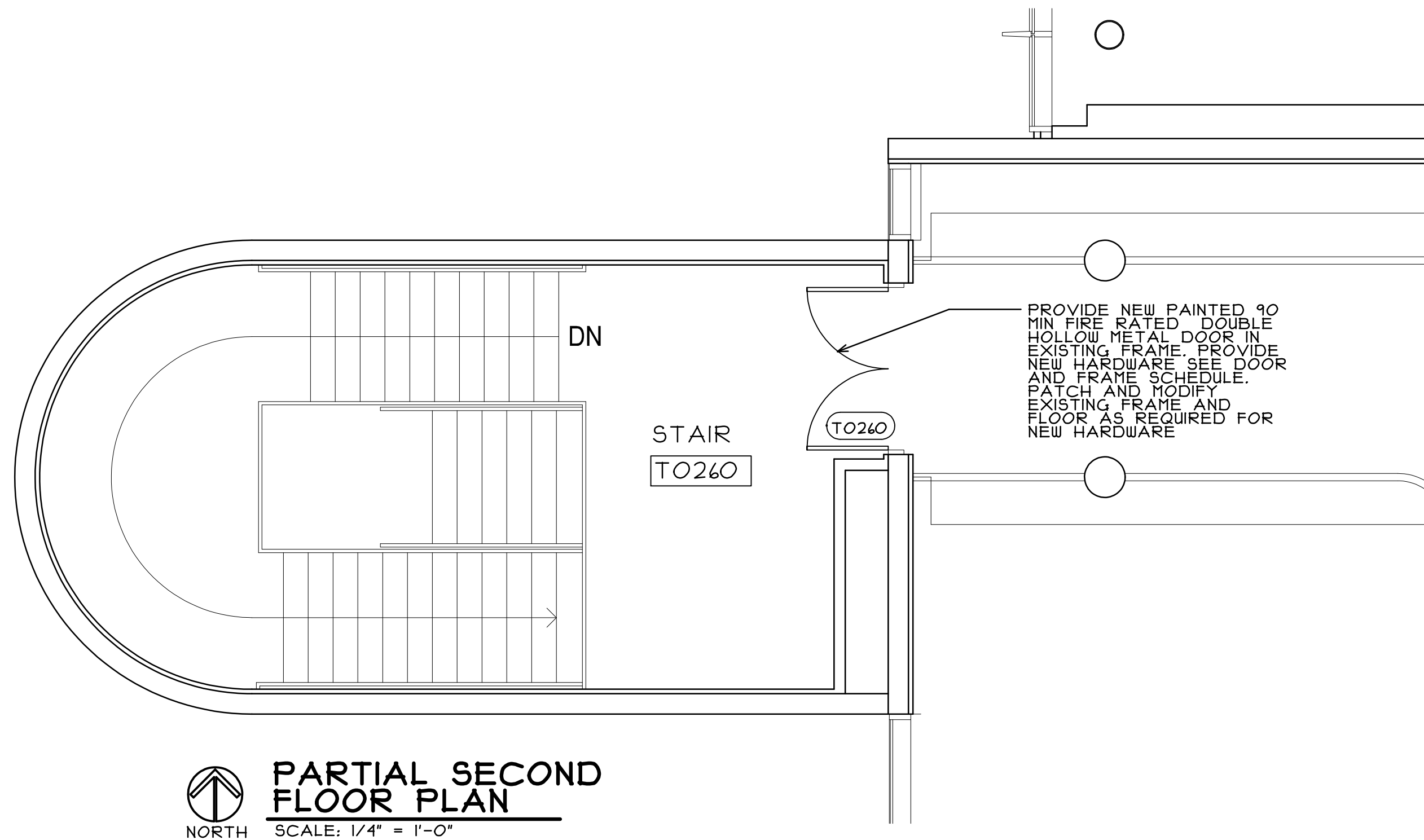
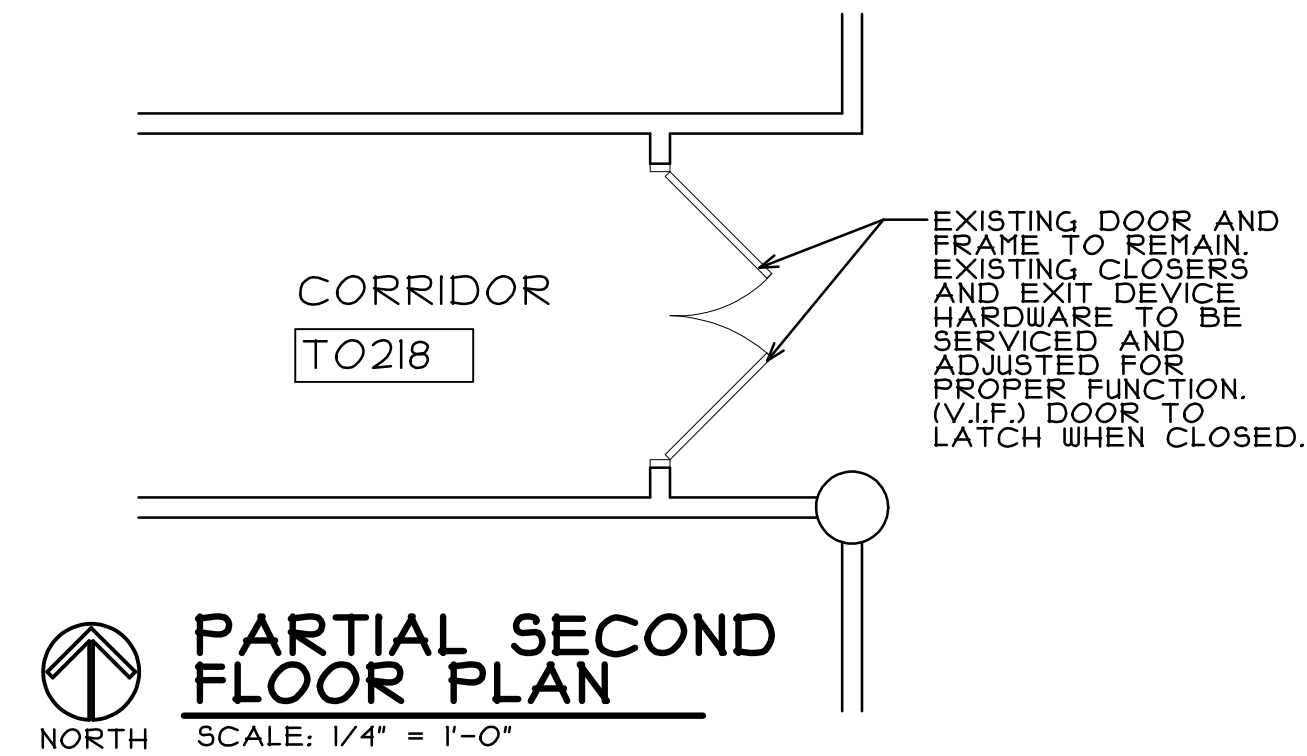
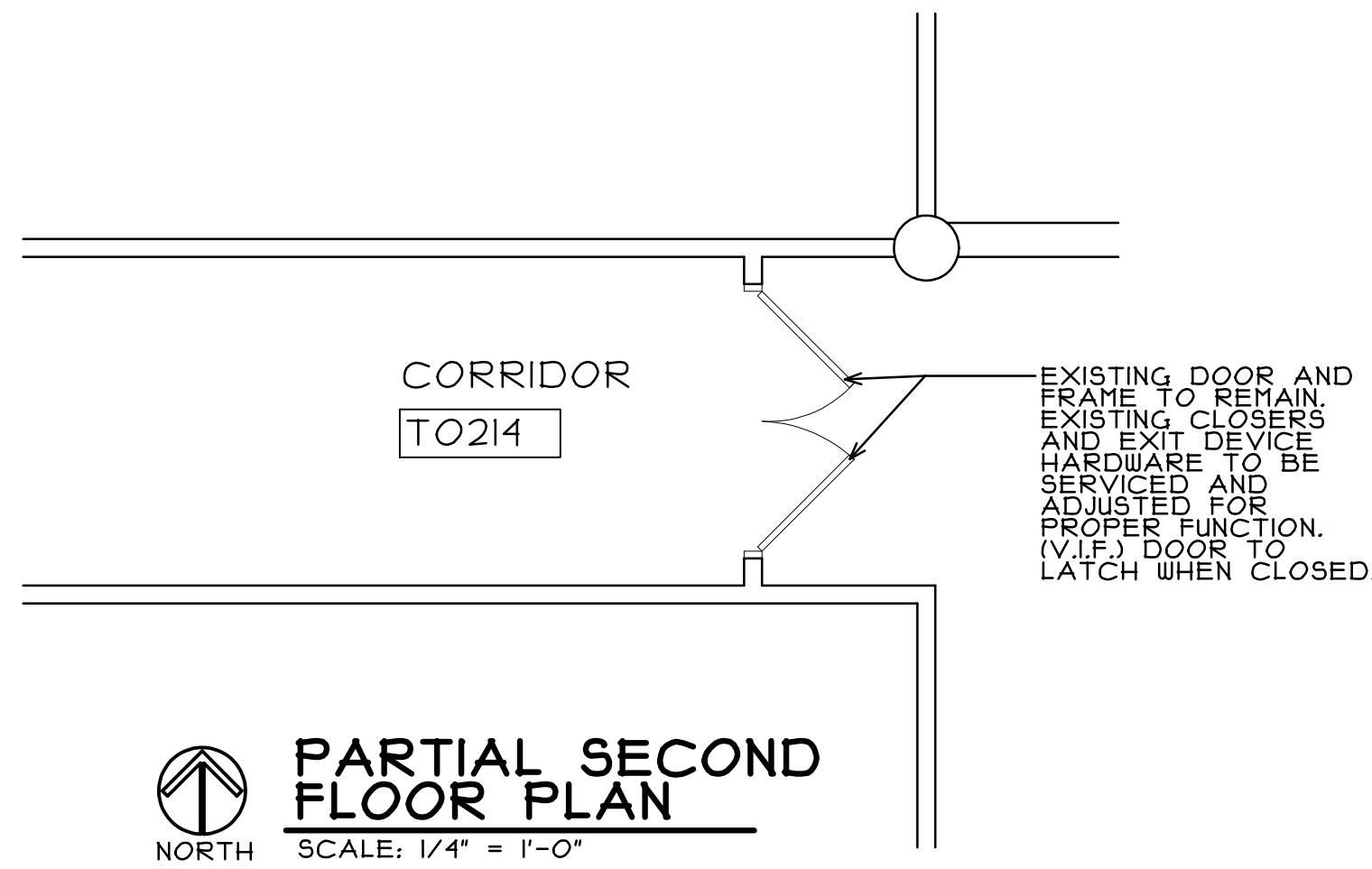
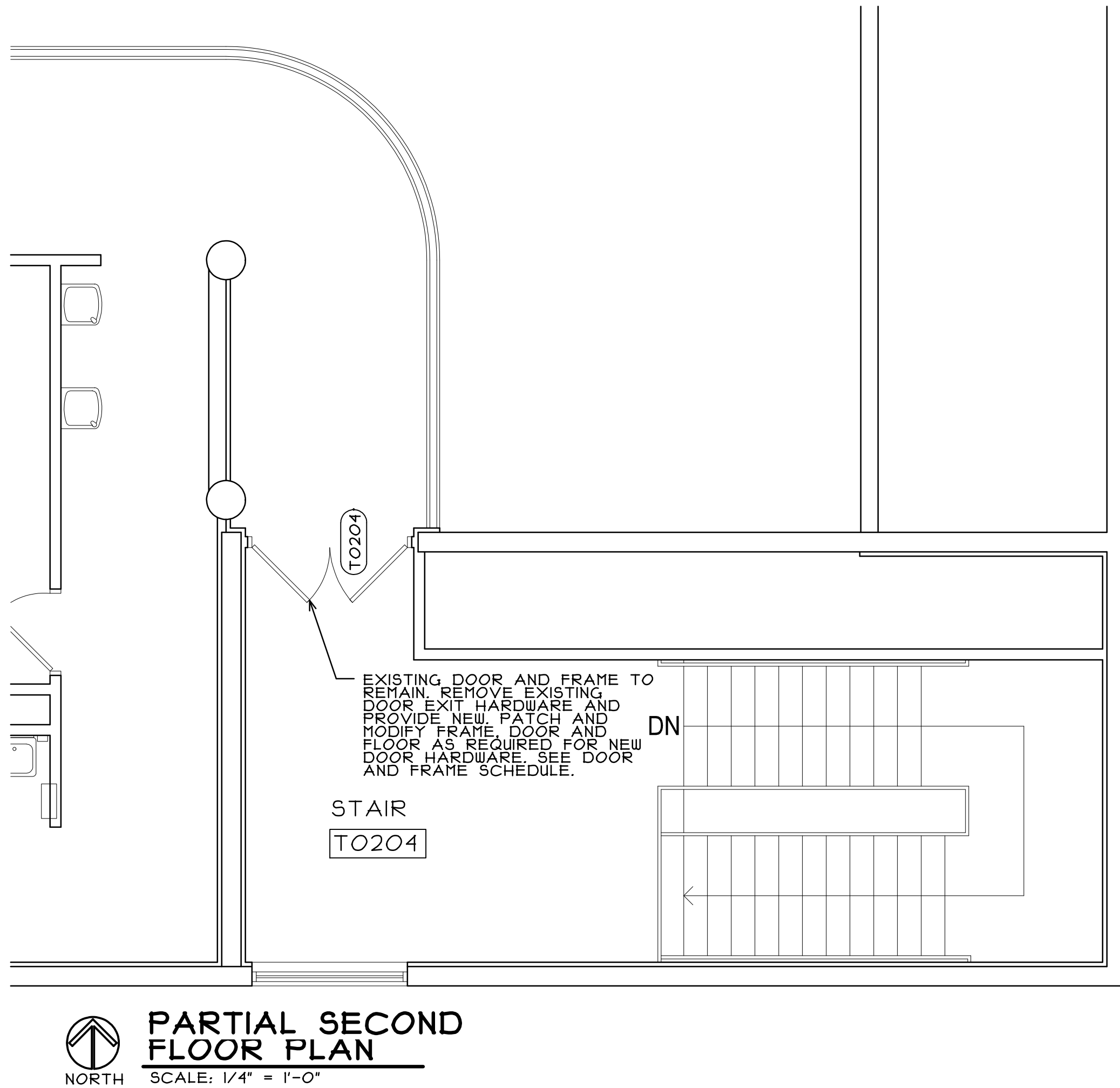
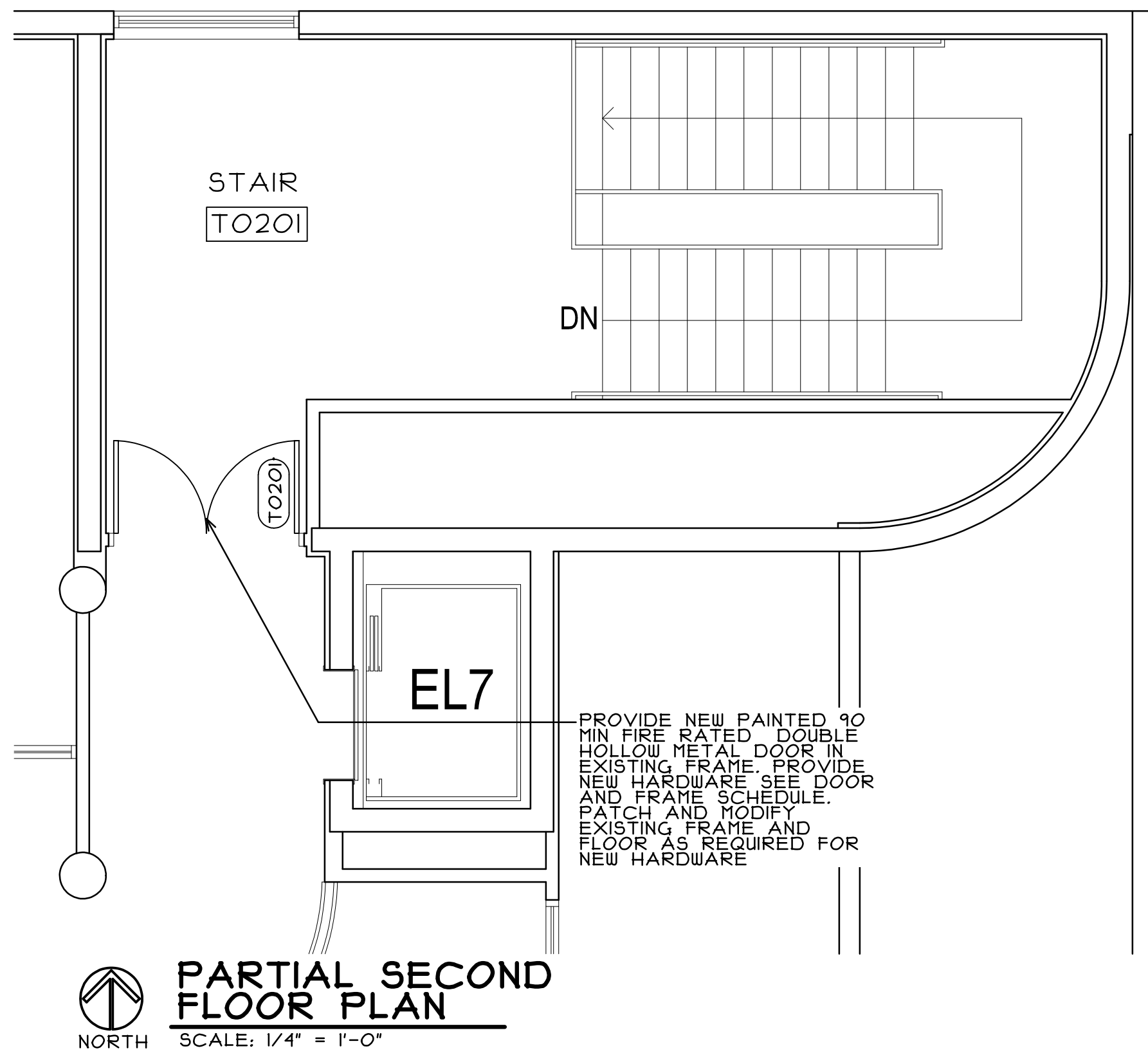
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