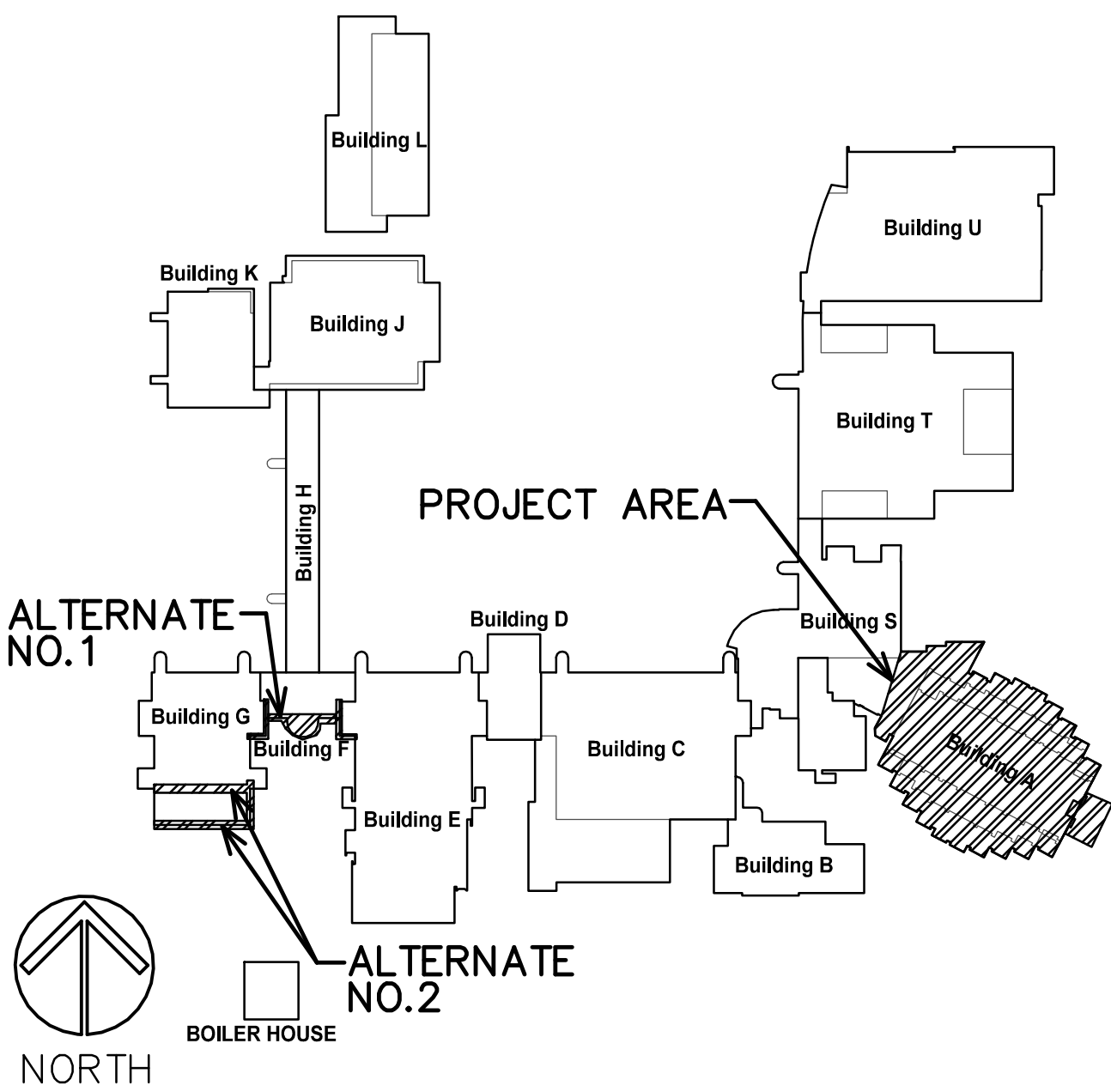
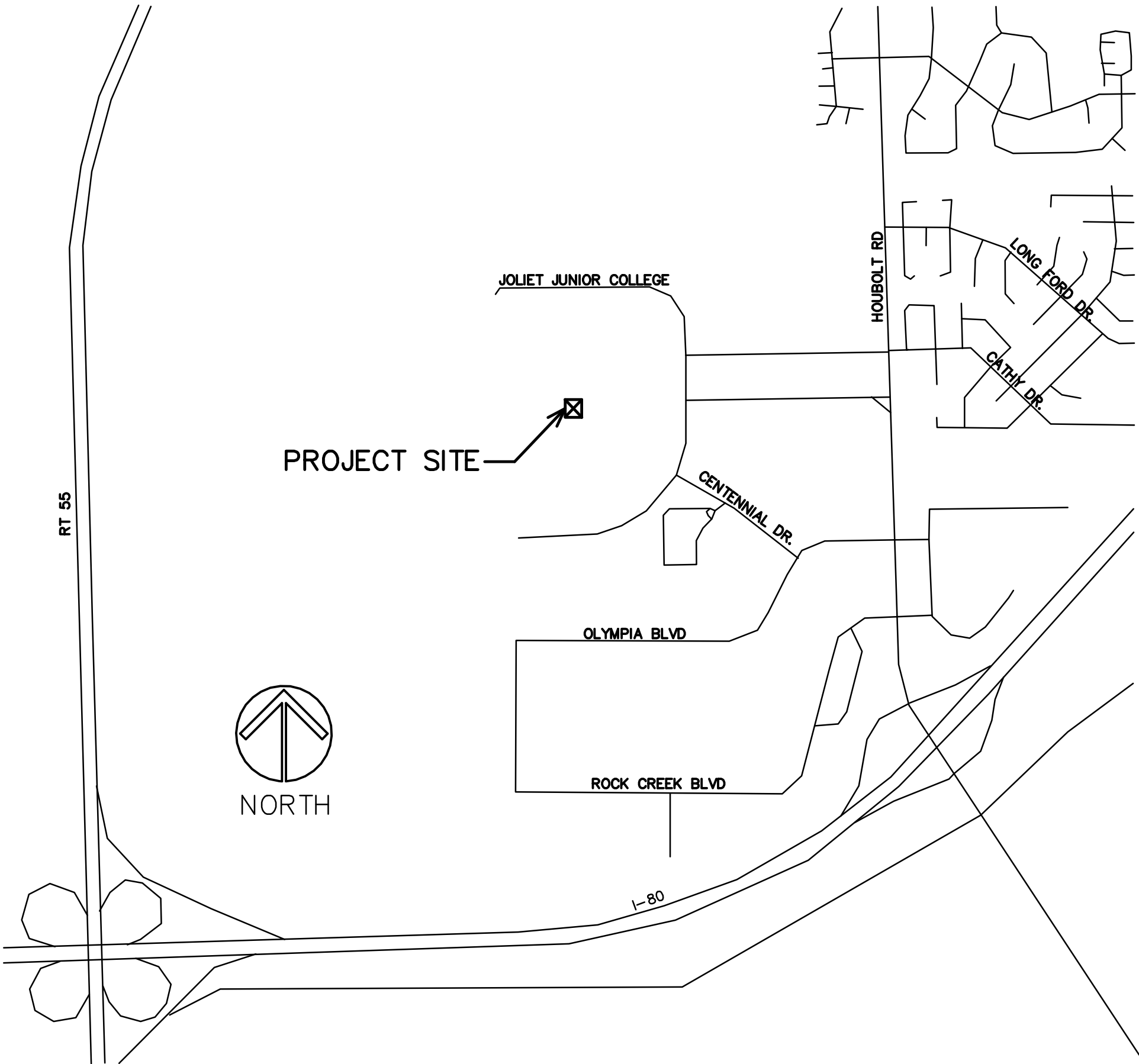


CAMPUS MAP



LOCATION MAP



INDEX OF SHEETS

T1	PROJECT TITLE, LOCATION, INDEX OF SHEETS
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A1.2	PARTIAL FIRST LEVEL FLOOR PLAN ELEVATIONS AND GENERAL NOTES
A2.1	PARTIAL SECOND LEVEL FLOOR PLAN ELEVATIONS AND GENERAL NOTES
A2.2	PARTIAL SECOND LEVEL FLOOR PLAN ELEVATIONS AND GENERAL NOTES
A3.1	PARTIAL THIRD LEVEL FLOOR PLAN ELEVATIONS AND GENERAL NOTES
A3.2	PARTIAL THIRD LEVEL FLOOR PLAN ELEVATIONS AND GENERAL NOTES
A4	UPPER ROOF PLAN AND NOTES
A5	PARTIAL FIRST FLOOR PLAN AND ELEVATIONS (ALTERNATE NO. 1)
A6	PARTIAL FIRST FLOOR PLAN AND ELEVATIONS (ALTERNATE NO. 2)
A7	BUILDING ELEVATIONS
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EXTERIOR FACADE REPAIRS 2024

JOLIET JUNIOR COLLEGE
BUILDINGS A
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

STROMSLAND + DE YOUNG + PRYBYS
ARCHITECTURE GROUP

280 VETERANS PARKWAY
NEW LENOX, IL 60451
PHONE: 815-727-1311

EXTERIOR FACADE REPAIRS 2024
JOLIET JUNIOR COLLEGE
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

DATE: 2/20/2024
REVISED:

PROJECT NO. 2310-02

SHEET NUMBER

T1

OF 1 SHEETS

stromsland + de young + prybys
ARCHITECTURE GROUP
280 Veterans Parkway - 201
New Lenox, Illinois 60451
815-727-1311
www.sdpagroup.com
L.N.: 184-000437

EXTERIOR RENOVATION NOTES

NOTE: DAMAGED AREAS NOTED AND AREAS FOUND AFTER CLEANING THAT REQUIRE REPAIR SEE REPAIR NOTES FOR WORK PRIOR TO RENOVATION.

CLEANING:

- CONTRACTOR TO POWER WASH STUCCO ON CMU/PAINT FINISH ON CMU OR SOFT WASH E.I.F.S. FOR ENTIRE WORK AREA WALL PLANE (CORNER TO CORNER UNLESS INDICATED TO REVEAL FULL DAMAGE EXTENT, ALSO TO ENSURE A CLEAN SURFACE AND PROVIDE BEST BOND FOR NEW MATERIALS.
- SOFT WASH (E.I.F.S.):
- EIFS CLEAN N PREP BY ENVIRO KLEAN.
 - 2400 EIFS SCRUB BY SHORE.

FINISH PAINTING:

- STUCCO OVER CMU AND PAINT FINISH ON CMU:
- PROVIDE TWO COATS OF MASTER PROTECT "HB 200" BY MASTER BUILDERS SOLUTIONS. SPRAY APPLIED WITH BACK ROLLING FOR CONSISTENCY. COLOR TO MATCH OWNERS SAMPLE - SENERGY#330. MAXI WHITE COLOR COAT (COORDINATE WITH OWNER) - PROVIDE VERIFICATION SAMPLE FOR REVIEW WITH OWNER
- E.I.F.S.:
- PROVIDE TWO COATS OF "COLOR COAT" BY SENERGY. SPRAY APPLIED WITH BACK ROLLING FOR CONSISTENCY. COLOR TO MATCH OWNERS SAMPLE - SENERGY #330. MAXI WHITE COLOR COAT (COORDINATE WITH OWNER) - PROVIDE VERIFICATION SAMPLE FOR REVIEW WITH OWNER

EXTERIOR REPAIR NOTES

WORK AREA WALL PREPARATION:

- CRACKS, DAMAGED AREAS AND MISSING STUCCO OVER CMU BLOCK SUBSTRATE:
- SCRAPE AND REMOVE DAMAGED PORTIONS OF DAMAGED STUCCO, FLAKING PAINT, ETC. ON CMU WALLS BACK TO SOUND MATERIAL.
 - GRIND OUT FULL LENGTH OF CRACK TO 3/8" DIAMETER.
 - TREAT AND PREP DAMAGED AREAS WITH MURIATIC ACID FOR EFFLORESCENCE NEUTRALIZATION.
 - APPLY BONDING AGENT (LARSON 'WELD-CRETE') TO EXISTING STRUCTURALLY SOUND STUCCO MATERIAL.

- CRACKS OR DAMAGE IN E.I.F.S.:
- DAMAGED E.I.F.S. AREAS TO BE CUT OUT SQUARED.
 - CRACKS TO BE CUT OUT 1/2" DIAMETER.

WORK AREA WALL PATCHING OF STUCCO FINISH AND E.I.F.S.:

- E.I.F.S. SUBSTRATE DAMAGE REPAIR:
- 1 1/2" EPS FOAM MECHANICALLY ATTACHED.
- CRACKS (3/8"MAX DIAMETER IN STUCCO FINISH)(CRACKS/DAMAGE IN E.I.F.S.) :
- RESURFACE ENTIRE WALL SURFACE AT STUCCO WALL LOCATION AND E.I.F.S. TO BE RESURFACED EDGE TO EDGE OF DAMAGED PANELS FOR UNIFORM FINISH WITH SENERGY BRAND ALPHA BASE COAT WITH EMBEDDED MESH (STANDARD PLUS GAGE (6 OZ./YD2) AND PATCHER IS (50OZ/YD2) AT GROUND LEVEL UP TO 8' E.I.F.S. TO BE RESURFACED EDGED TO EDGE OF OF DAMAGED PANELS FOR UNIFORM FINISH)
- LARGER CRACKS(OVER 3/8").DAMAGED AREAS MISSING STUCCO:
- PROVIDE CONTINUOUS EXPANDED METAL LATH WITH POLYMER MODIFIED BASE COAT (SPEC MIX SU-05 OVER PREPPED AND WELDED SURFACE.
 - IN DEEPER HEAVY AREAS ON CONTINUOUS METAL LATCH PROVIDE TWO COATS

FINISH MATERIAL:

- STUCCO AND E.I.F.S. PATCHING AREAS NOTED ABOVE:
- PROVIDE ACRYLIC BASED (ACRYLIC COPOLYMERS, AGGREGATE LIQUID PIGMENTS) BML ACRYLIC 300 COARSE FINISH BY SIKA OR SENERGY TEXTURE FINISH BY BASF.
 - PROVIDE "FREESTYLE FINISH" TO MATCH OR REPLICATE EXISTING STUCCO FINISH OR E.I.F.S.

- REMOVED PAINT FINISH AREAS ON CMU:
- PROVIDE SINGLE COAT OF BLOCK FILLER MASTER PROTECT "FL 149"

- PAINTABLE SEALANT:
- MASTERSEAL "NP 150" HYBRID SEALANT BY MASTER BUILDERS SOLUTIONS.
 - DOWSIL 191 SILICONE SEALANT/ 1200 FOR PRIME COAT BY DOW.

NOTE:
STUCCO CONTRACTOR TO PROVIDE A \$1500 ALLOWANCE IN HIS/HER BID FOR UNFORESEEN/MISCELLANEOUS CONDITIONS. WHEN FIGURING THIS ALLOWANCE IN THE BID, THE CONTRACTOR IS TO INCLUDE ALL NECESSARY OVERHEAD AND PROFIT TO CARRY THIS DOLLAR VOLUME. THIS ALLOWANCE IS NOT FOR THE CONTRACTOR'S BENEFIT, AND IS ONLY AUTHORIZED TO CHARGE AGAINST THIS ALLOWANCE WHEN DIRECTED AND APPROVED BY JOLIET JUNIOR COLLEGE. THE CONTRACTOR WILL BE ALLOWED TO INVOICE FOR DIRECT MATERIAL AND RAW LABOR COSTS ONLY.

EXTERIOR FACADE REPAIRS 2024
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1215 HOUBOLT ROAD
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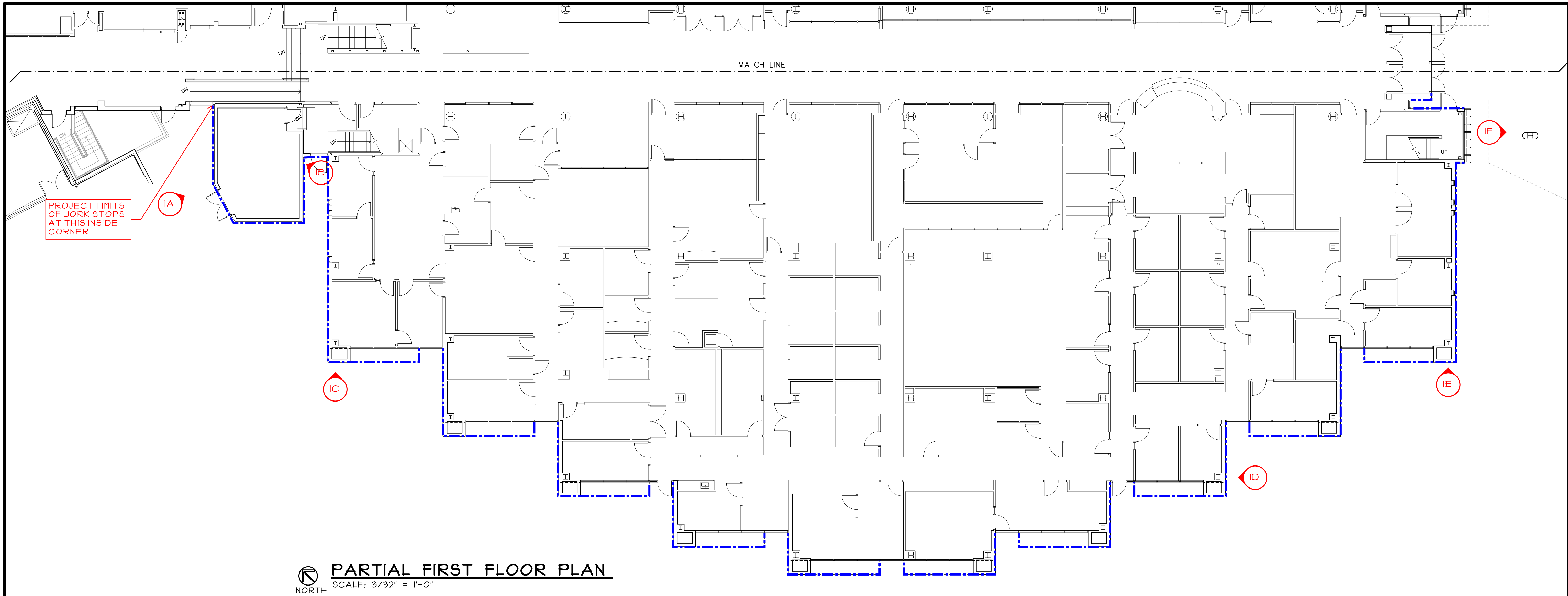
SHEET NUMBER

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OF 12 SHEETS

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280 Veterans Parkway - 201
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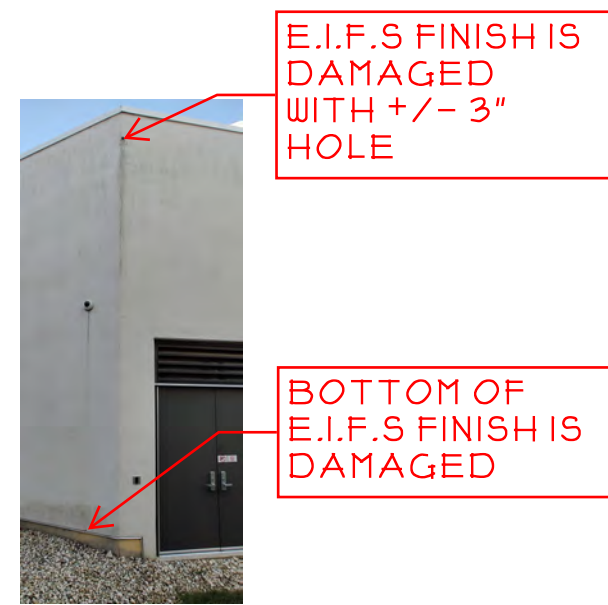
PARTIAL FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

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LEGEND

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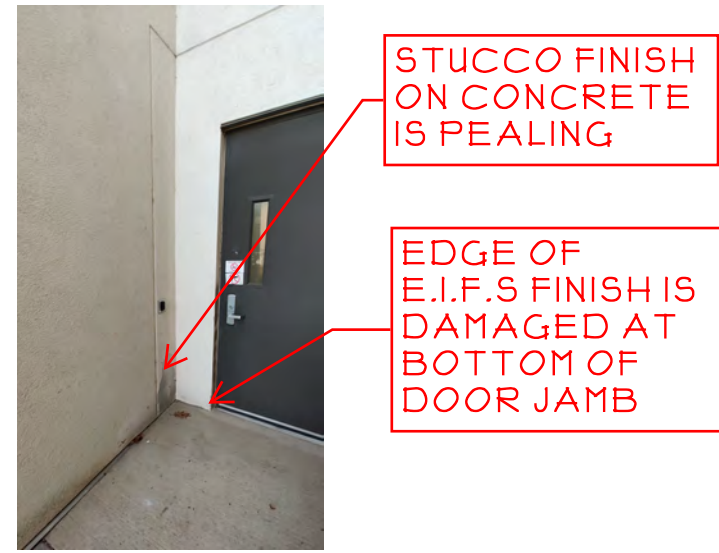
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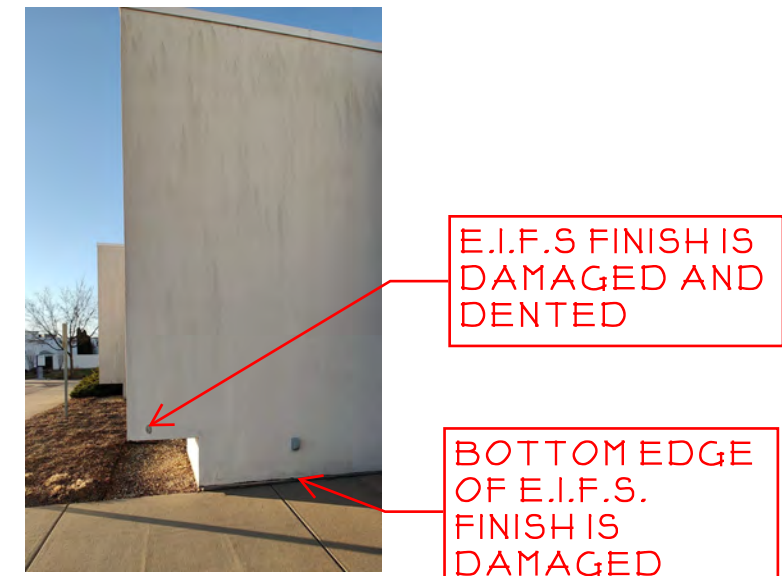
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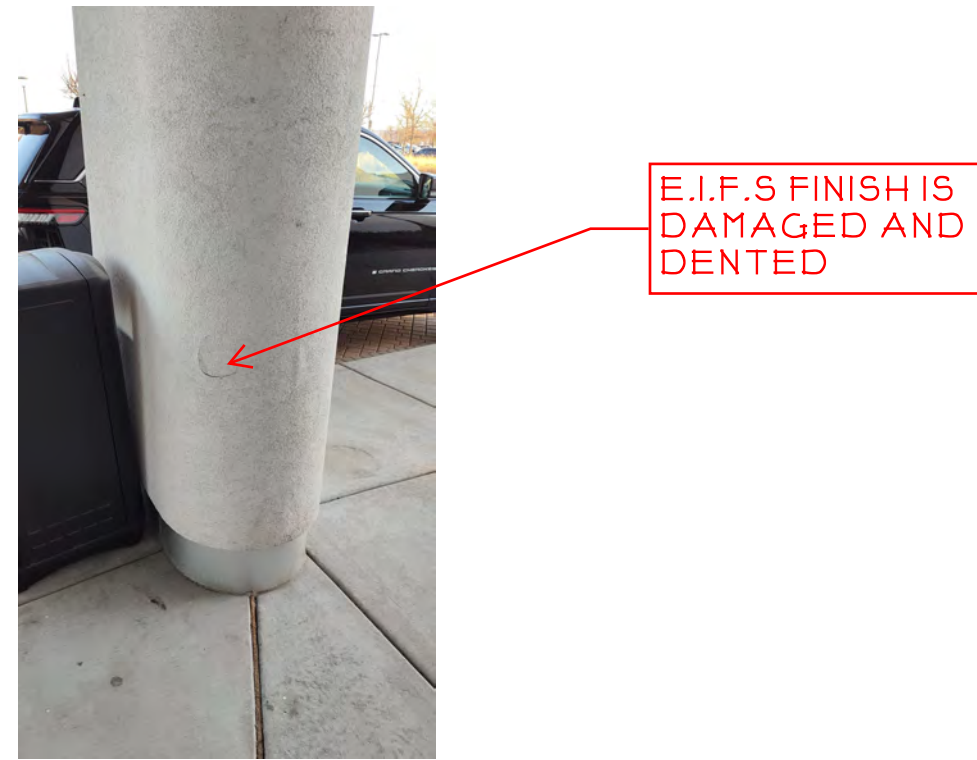
Picture "IE"



Picture "IB"



Picture "ID"



Picture "IF"

stromsland + de young + prybys
ARCHITECTURE GROUP
280 Veterans Parkway - 201
New Lenox, Illinois 60451
815-772-1311
www.sdgagroup.com
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1215 HOUBOLT ROAD
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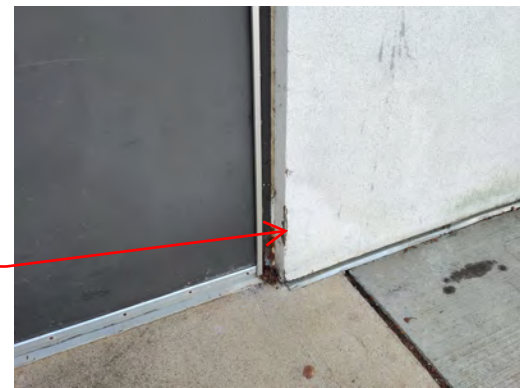
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E.I.F.S IS DAMAGED AND DENTED.

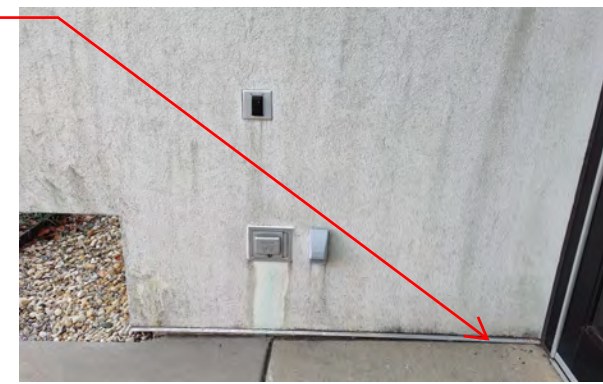
EDGE OF E.I.F.S IS DAMAGED AT BOTTOM OF JAMB

Picture "IJ"



Picture "IL"

E.I.F.S BOTTOM EDGE IS DAMAGED



Picture "IN"

E.I.F.S. FINISH IS DAMAGED BACK TO INSULATION AT LOCATION OF ROOF OVERFLOW DRAIN

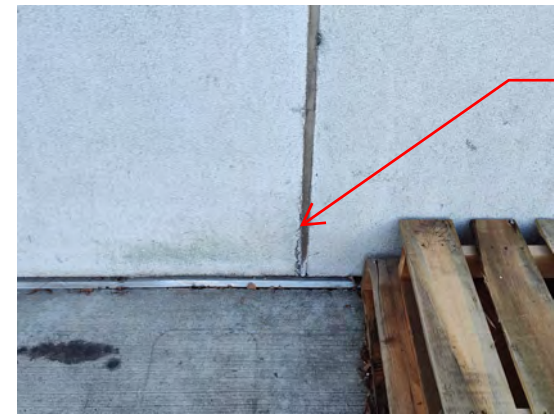


Picture "IP"



Picture "IR"

E.I.F.S FINISH IS DAMAGED AND DENTED



E.I.F.S FINISH IS CRACKED AT EXPANSION JOINT

BOTTOM EDGE OF E.I.F.S IS DAMAGED

Picture "IK"



Picture "IM"



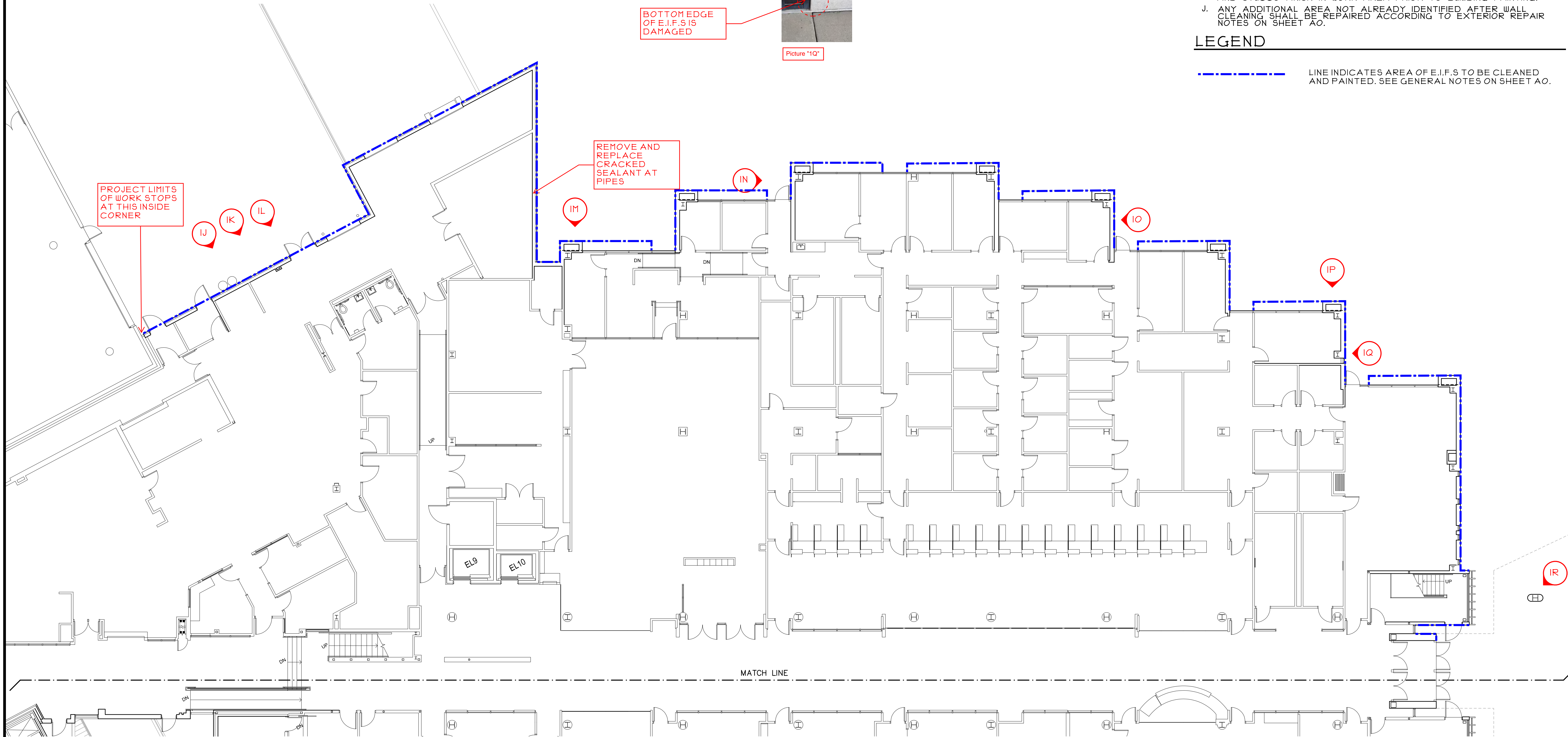
Picture "IO"

E.I.F.S BOTTOM EDGE IS DAMAGED



Picture "IQ"

BOTTOM EDGE OF E.I.F.S IS DAMAGED



PARTIAL FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

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LEGEND

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stromsland + de young + prybys
ARCHITECTURE GROUP
280 Veterans Parkway - 201
New Lenox, Illinois 60451
815-727-1311
L.N.: 184-000437
www.sdpagroup.com

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JOLIET JUNIOR COLLEGE
1215 HOUBOLT ROAD
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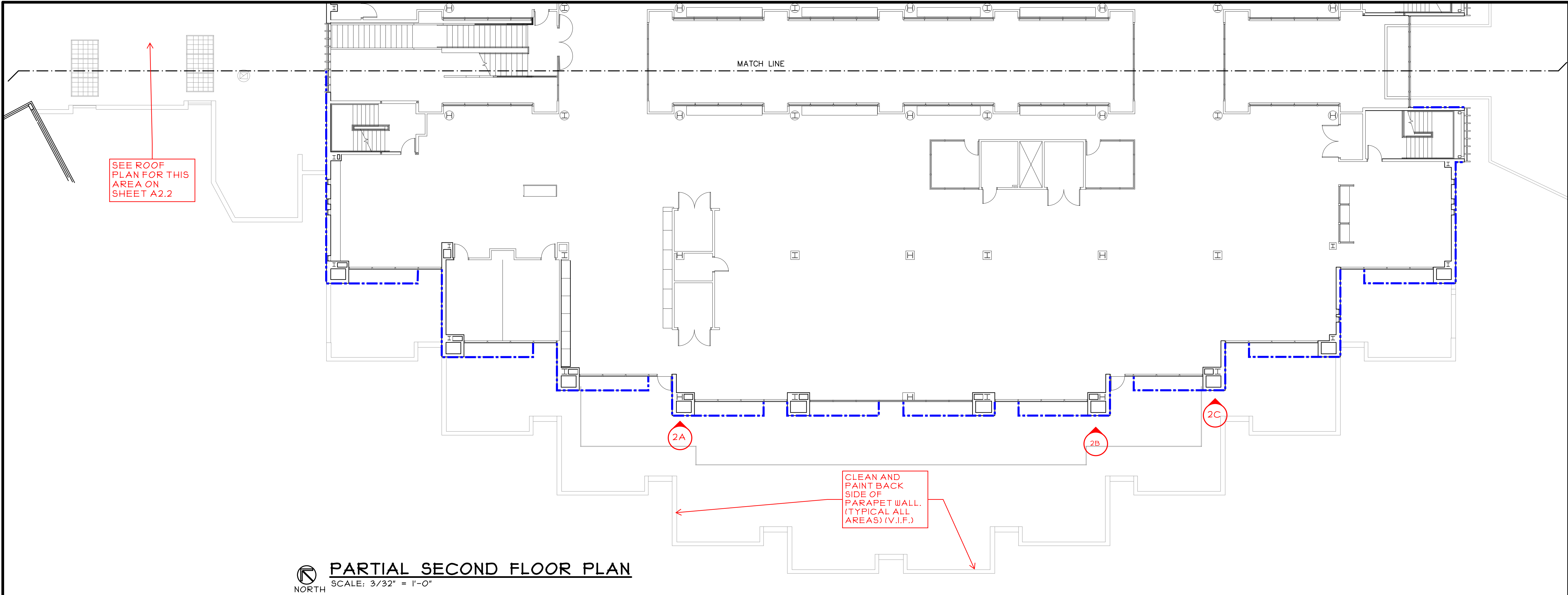
PROJECT NO.
2310-02

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Picture "2A"



Picture "2C"

E.I.F.S FINISH IS DAMAGED WITH +/- 3" HOLE



Picture "2B"

E.I.F.S FINISH IS DAMAGED WITH +/- 3" HOLE

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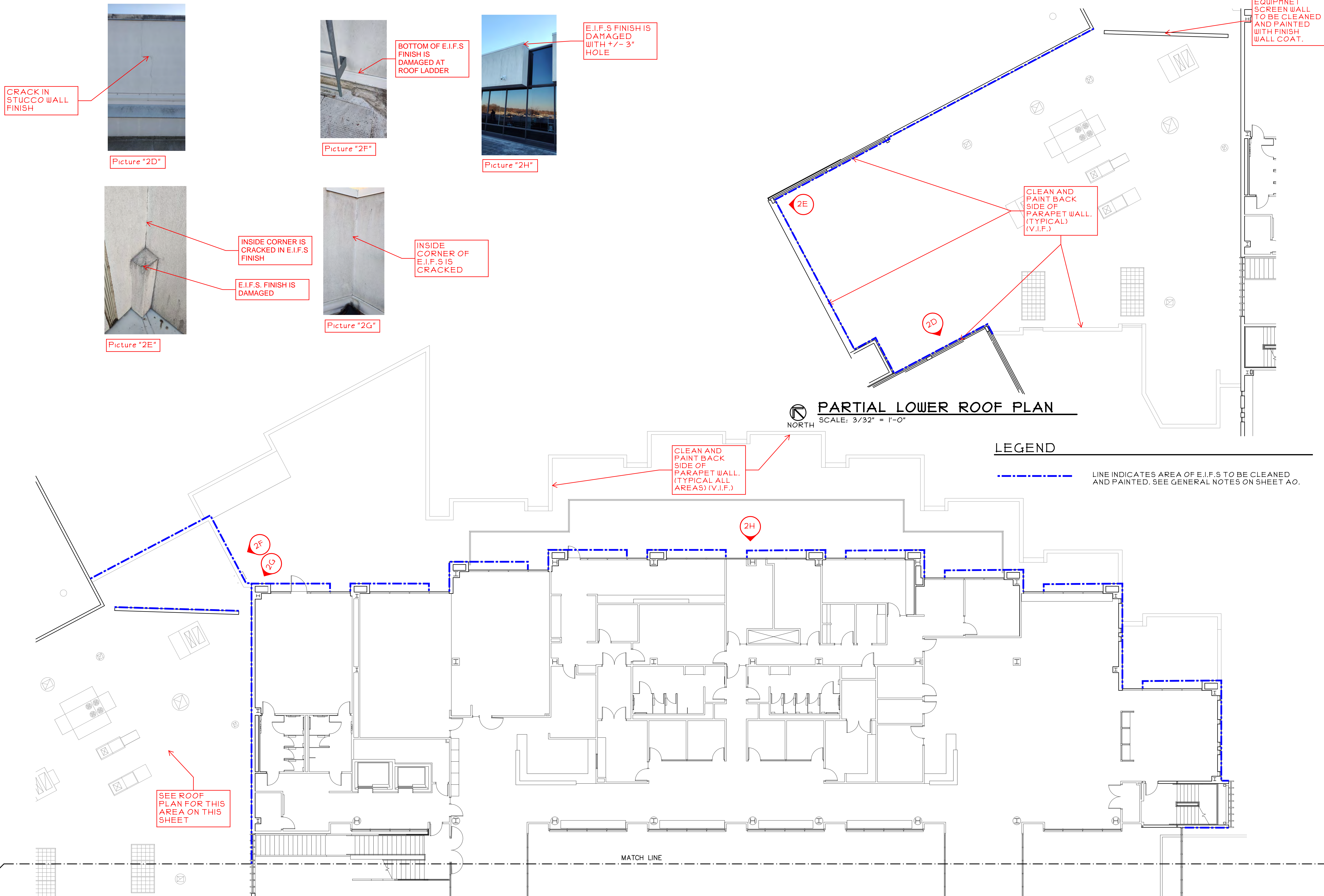
SHEET NUMBER

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stromsland + de young + prybys
ARCHITECTURE GROUP
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New Lenox, Illinois 60451
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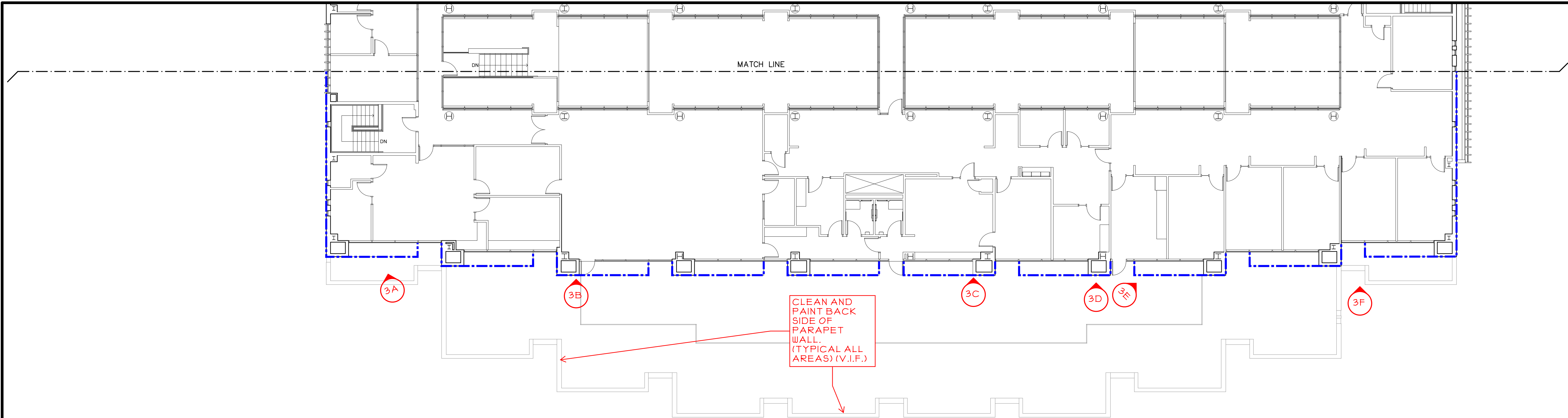
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PARTIAL THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"



Picture "3A"

E.I.F.S. FINISH IS DAMAGED WITH +/- 3" HOLE



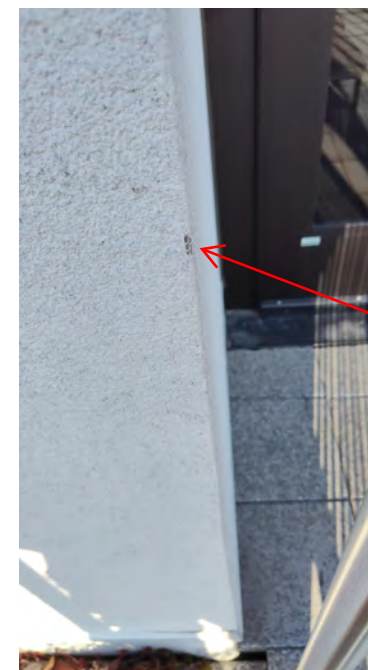
Picture "3C"

EDGE OF E.I.F.S. FINISH IS CHIPPED AT OUTSIDE CORNER



Picture "3E"

E.I.F.S. FINISH IS DENTED AT THIS LOCATION



Picture "3B"

EDGE OF E.I.F.S. FINISH IS CHIPPED AT OUTSIDE CORNER

EDGE OF E.I.F.S. FINISH IS CHIPPED AT OUTSIDE CORNER



Picture "3D"



Picture "3F"

EDGE OF E.I.F.S. FINISH IS CHIPPED AT OUTSIDE CORNER

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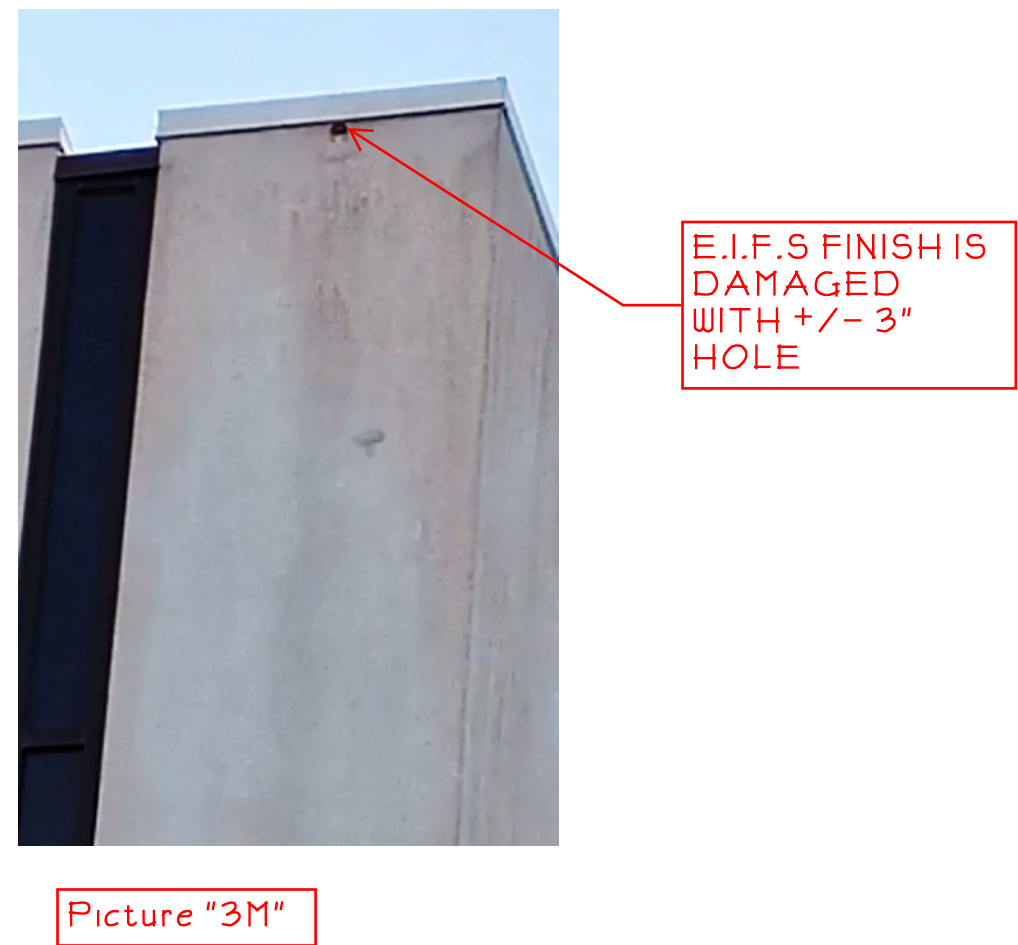
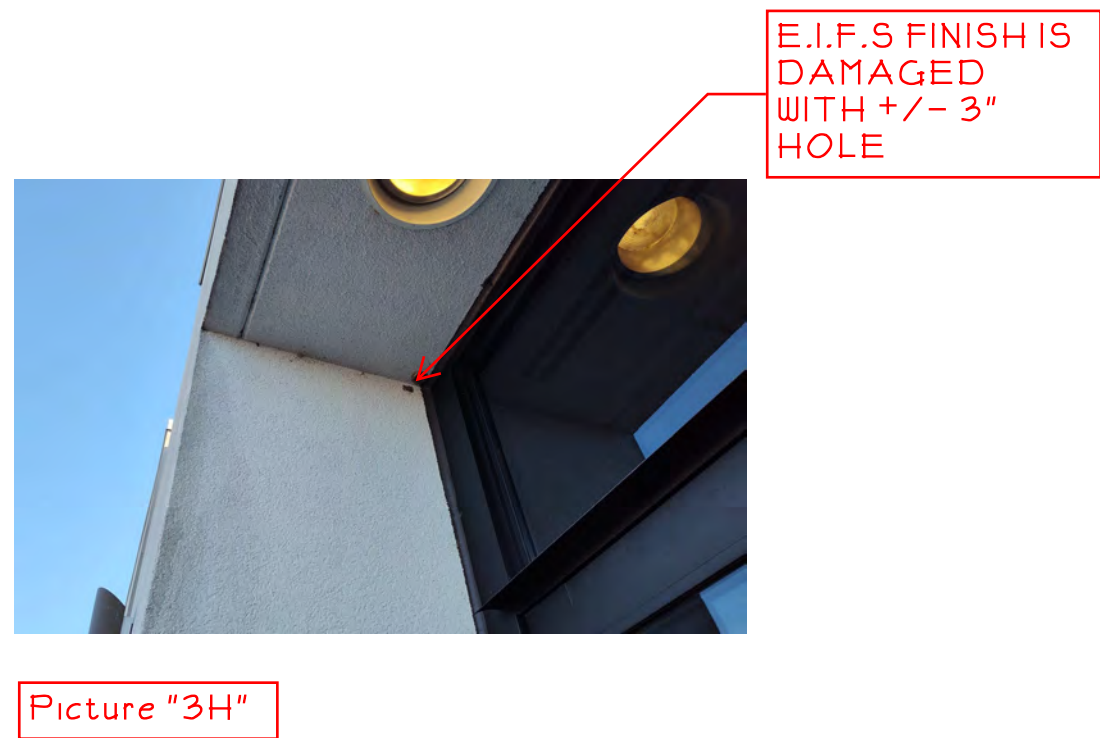
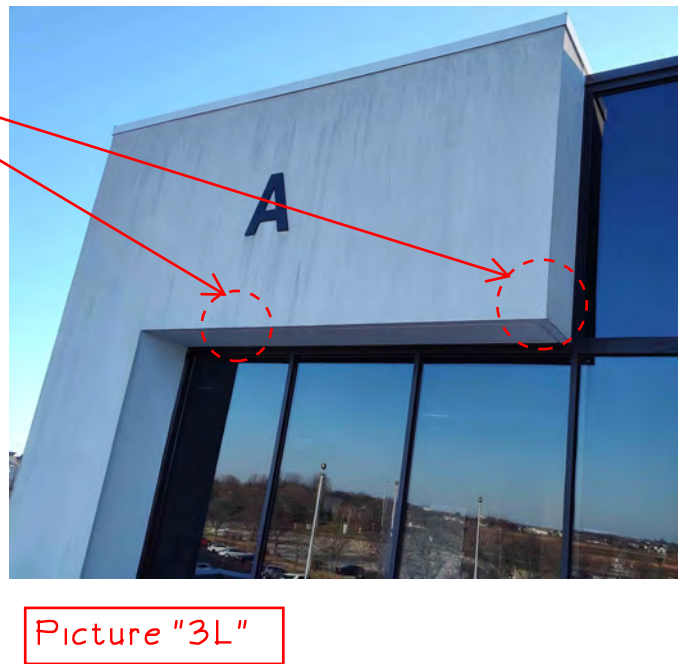
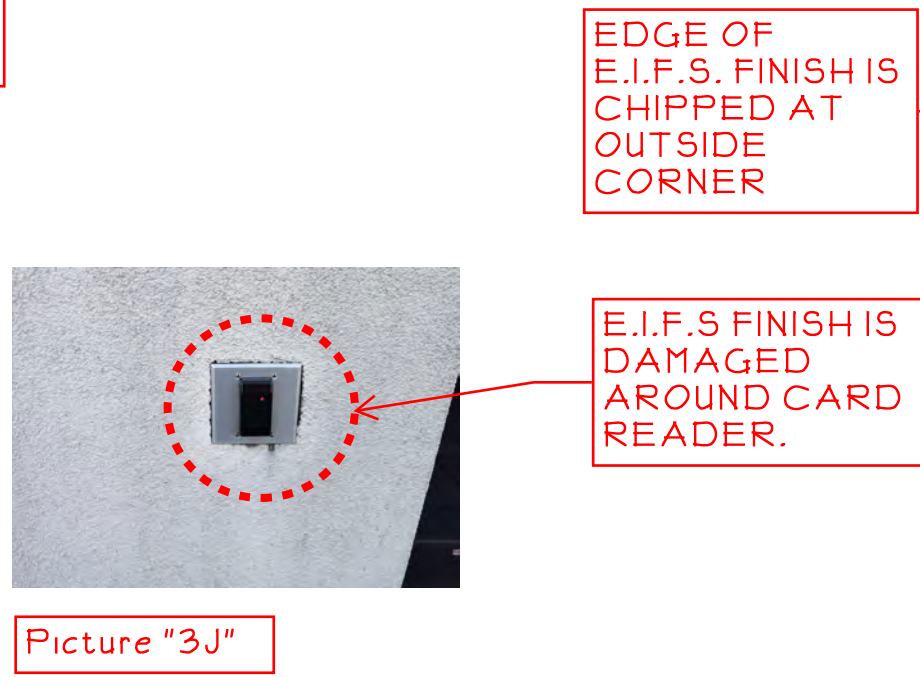
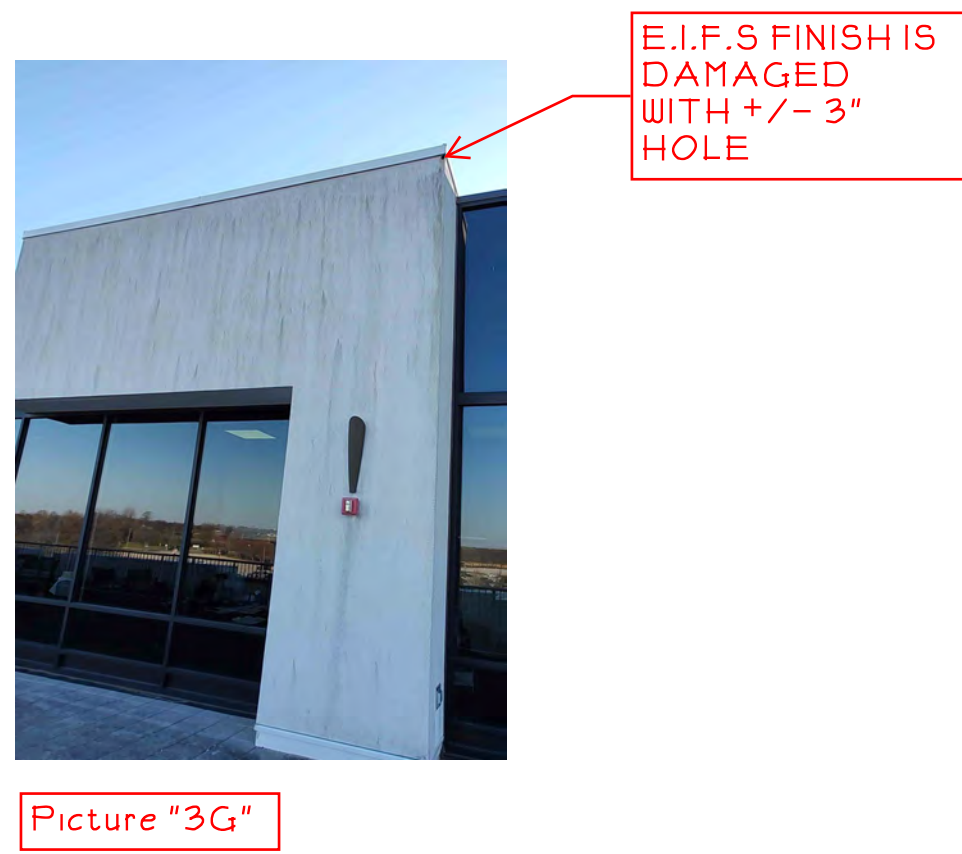
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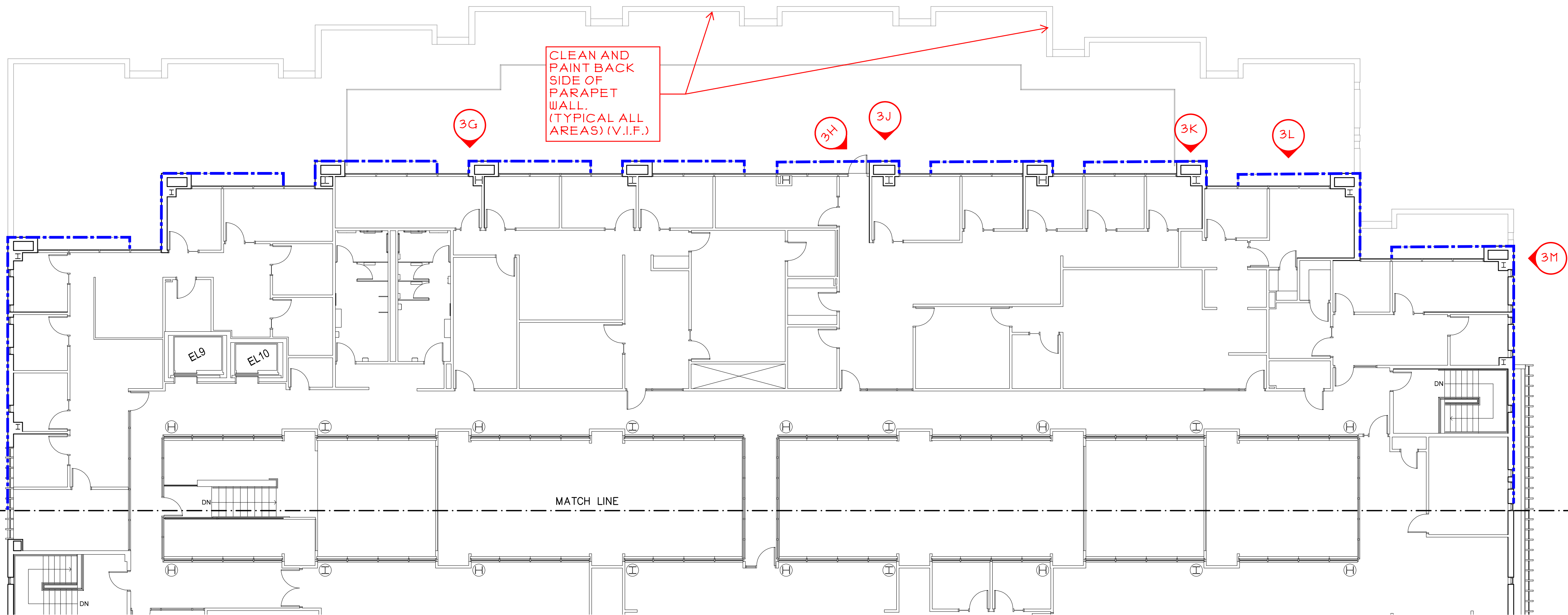


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- THIS SHEET IDENTIFIES AREAS THAT REQUIRE REPAIR OF E.I.F.S. AND STUCCO FINISH IN WORK AREA PRIOR TO BUILDING PAINTING.
- ANY ADDITIONAL AREA NOT ALREADY IDENTIFIED AFTER WALL CLEANING SHALL BE REPAIRED ACCORDING TO EXTERIOR REPAIR NOTES ON SHEET AO.

LEGEND

--- LINE INDICATES AREA OF E.I.F.S TO BE CLEANED AND PAINTED. SEE GENERAL NOTES ON SHEET AO.



PARTIAL THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"

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stromsland + de young + prybys
ARCHITECTURE GROUP
280 Veterans Parkway - 201
New Lenox, Illinois 60451
815-727-1311
L.N.: 184-000437
www.sdpagroup.com

EXTERIOR FACADE REPAIRS 2024
JOLIET JUNIOR COLLEGE
1215 HOUBOLT ROAD
JOLIET, ILLINOIS

DATE: 2/20/2024
REVISED:

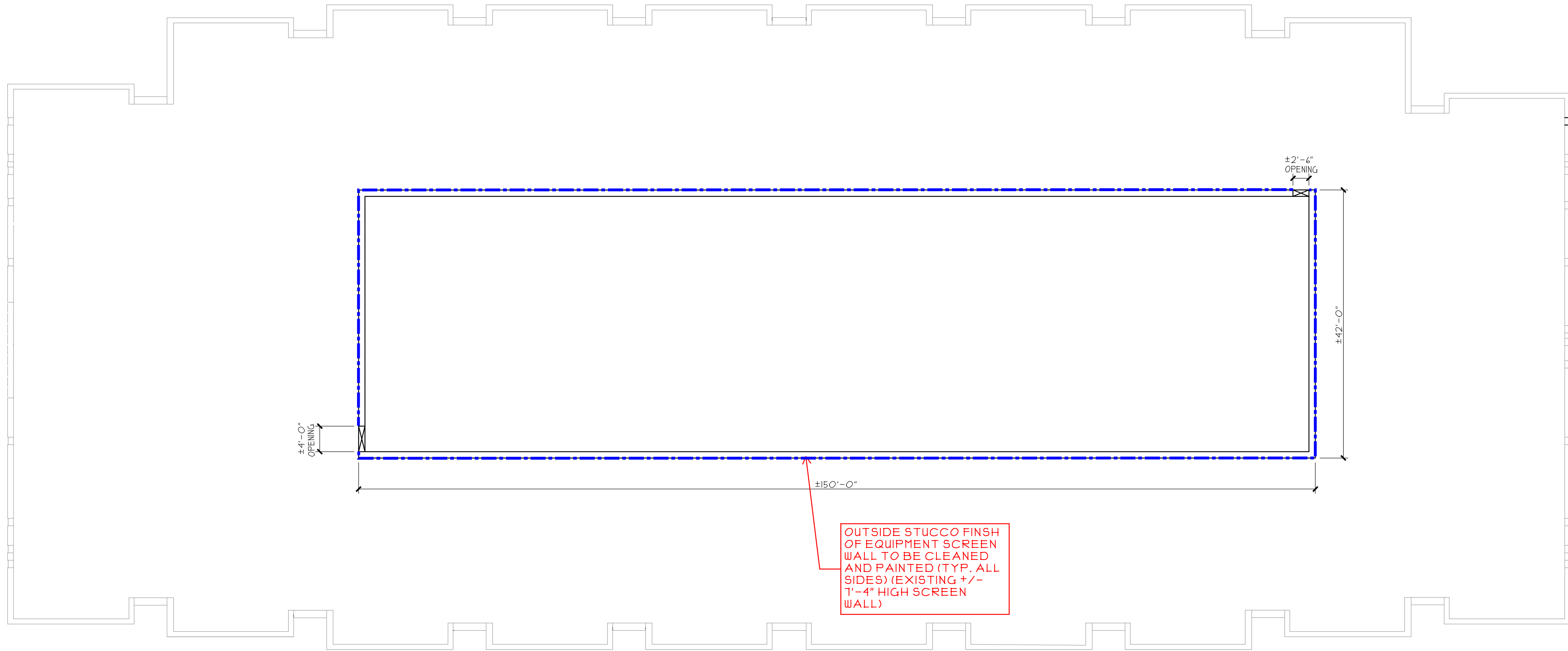
PROJECT NO.
2310-02


SHEET NUMBER

A3.2

OF 11 SHEETS

\\192.168.1.137\CURRENT PROJECTS\JJC- EXTERIOR FACADE REPAIRS 2023\DRAWINGS\ARCH\A4.AEC



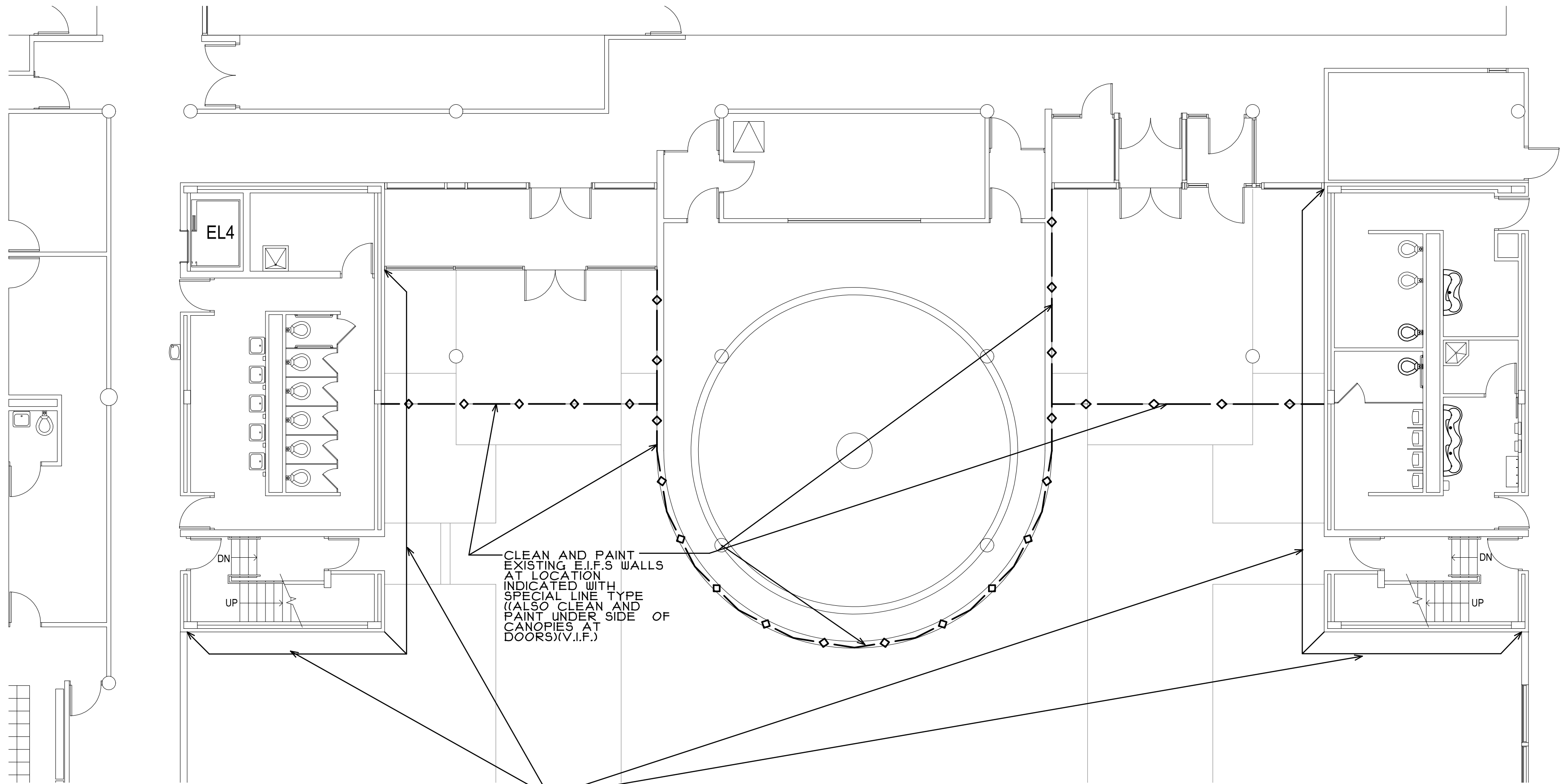
 **UPPER ROOF PLAN**
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS AND EXTENT OF THE WORK. ANY ITEMS NOT SPECIFICALLY INDICATED THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BID FOR CLARIFICATION.
- ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- PATCH OR REPAIR DAMAGED SURFACES CAUSED TO ADJACENT AREAS DURING CONSTRUCTION OPERATIONS.
- KEEP WALKWAYS AND ENTRANCES SERVING BUILDING CLEAR AND AVAILABLE TO OWNER AND PUBLIC AT ALL TIMES. PROVIDE REQUIRED PROTECTION FOR THESE AREAS WHEN WORKING OVERHEAD. AT END OF EACH DAYS WORK, PROVIDE WALKWAY BARRIERS INDICATING WALKWAY CLOSURE WHEN WORKING IN THE AREA.
- PROVIDE TEMPORARY PROTECTION FOR LANDSCAPING AROUND BUILDING. RESTORE LANDSCAPING AT END OF CONSTRUCTION TO MATCH EXISTING CONDITIONS. DOCUMENT EXISTING DAMAGE PRIOR TO BEGINNING CONSTRUCTION.
- WALL MOUNTED DEVICES NOT NOTED ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. (V.I.F.)
- ROOF TOP EQUIPMENT, PATIO PAVERS, RAILINGS AND ROOF GARDEN TO BE PROTECTED DURING CONSTRUCTION.
- ENTIRE BUILDING EXTERIOR TO BE CLEANED PRIOR TO REPAIR AND PAINTING (U.N.O.) SEE SHEET AO FOR ADDITIONAL NOTES
- THIS SHEET IDENTIFIES AREAS THAT REQUIRE REPAIR OF E.I.F.S. AND STUCCO FINISH IN WORK AREA PRIOR TO BUILDING PAINTING.
- ANY ADDITIONAL AREA NOT ALREADY IDENTIFIED AFTER WALL CLEANING SHALL BE REPAIRED ACCORDING TO EXTERIOR REPAIR NOTES ON SHEET AO.

LEGEND

----- LINE INDICATES AREA OF E.I.F.S TO BE CLEANED AND PAINTED. SEE GENERAL NOTES ON SHEET AO.



GENERAL NOTES

- A. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS AND EXTENT OF THE WORK. ANY ITEMS NOT SPECIFICALLY INDICATED THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BID FOR CLARIFICATION.
- B. ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- C. PATCH OR REPAIR DAMAGED SURFACES CAUSED TO ADJACENT AREAS DURING CONSTRUCTION OPERATIONS.
- D. KEEP WALKWAYS AND ENTRANCES SERVING BUILDING CLEAR AND AVAILABLE TO OWNER AND PUBLIC AT ALL TIMES. PROVIDE REQUIRED PROTECTION FOR THESE AREAS WHEN WORKING OVERHEAD. AT END OF EACH DAYS WORK, PROVIDE WALKWAY BARRIERS INDICATING WALKWAY CLOSURE WHEN WORKING IN THE AREA.
- E. PROVIDE TEMPORARY PROTECTION FOR LANDSCAPING AROUND BUILDING. RESTORE LANDSCAPING AT END OF CONSTRUCTION TO MATCH EXISTING CONDITIONS. DOCUMENT EXISTING DAMAGE PRIOR TO BEGINNING CONSTRUCTION.
- F. WALL MOUNTED DEVICES NOT NOTED ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. (V.I.F.)
- G. ANY ADDITIONAL AREA NOT ALREADY IDENTIFIED AFTER WALL CLEANING SHALL BE REPAIRED ACCORDING TO EXTERIOR RENOVATION NOTES.



PARTIAL FLOOR PLAN (ALTERNATE NO.1)

SCALE: 1/8" = 1'-0"

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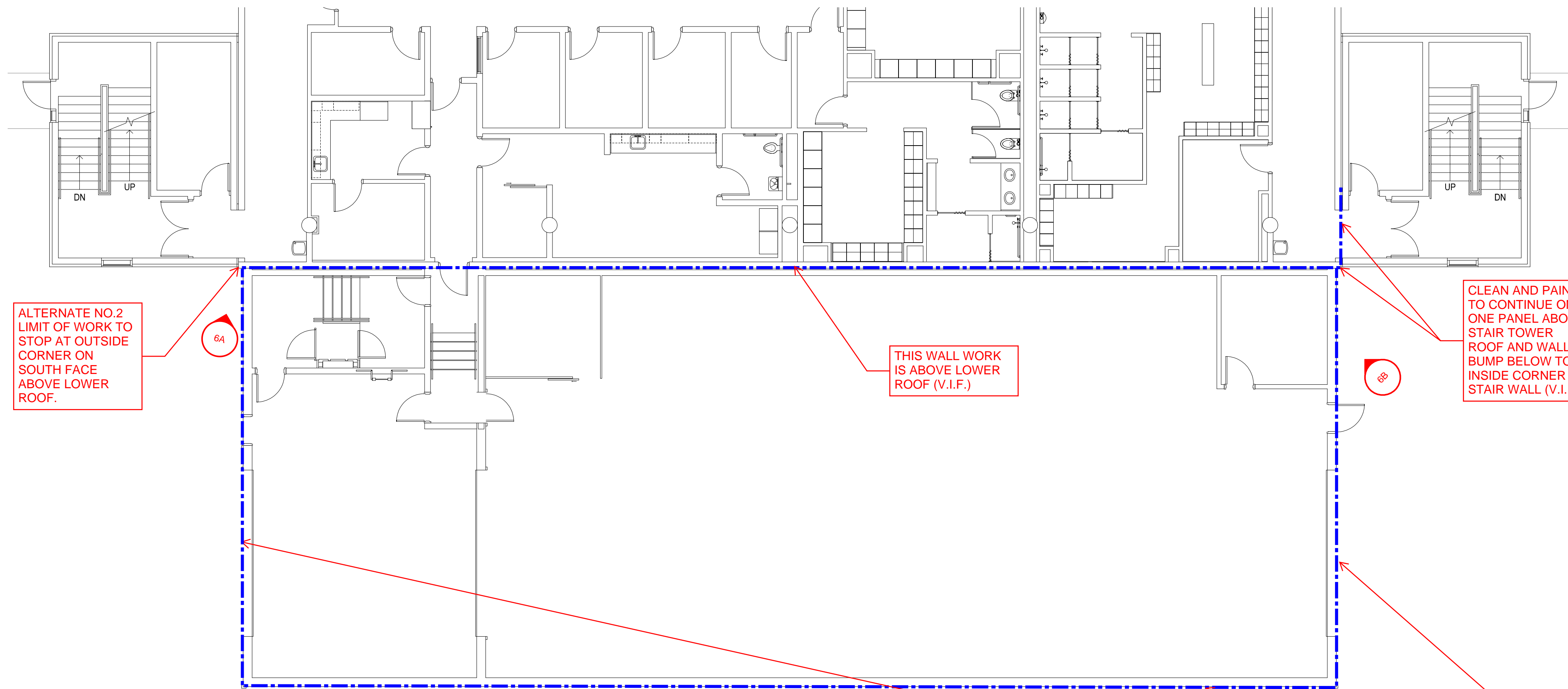
SHEET NUMBER

A5

OF 12 SHEETS

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ARCHITECTURE GROUP
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New Lenox, Illinois 60451
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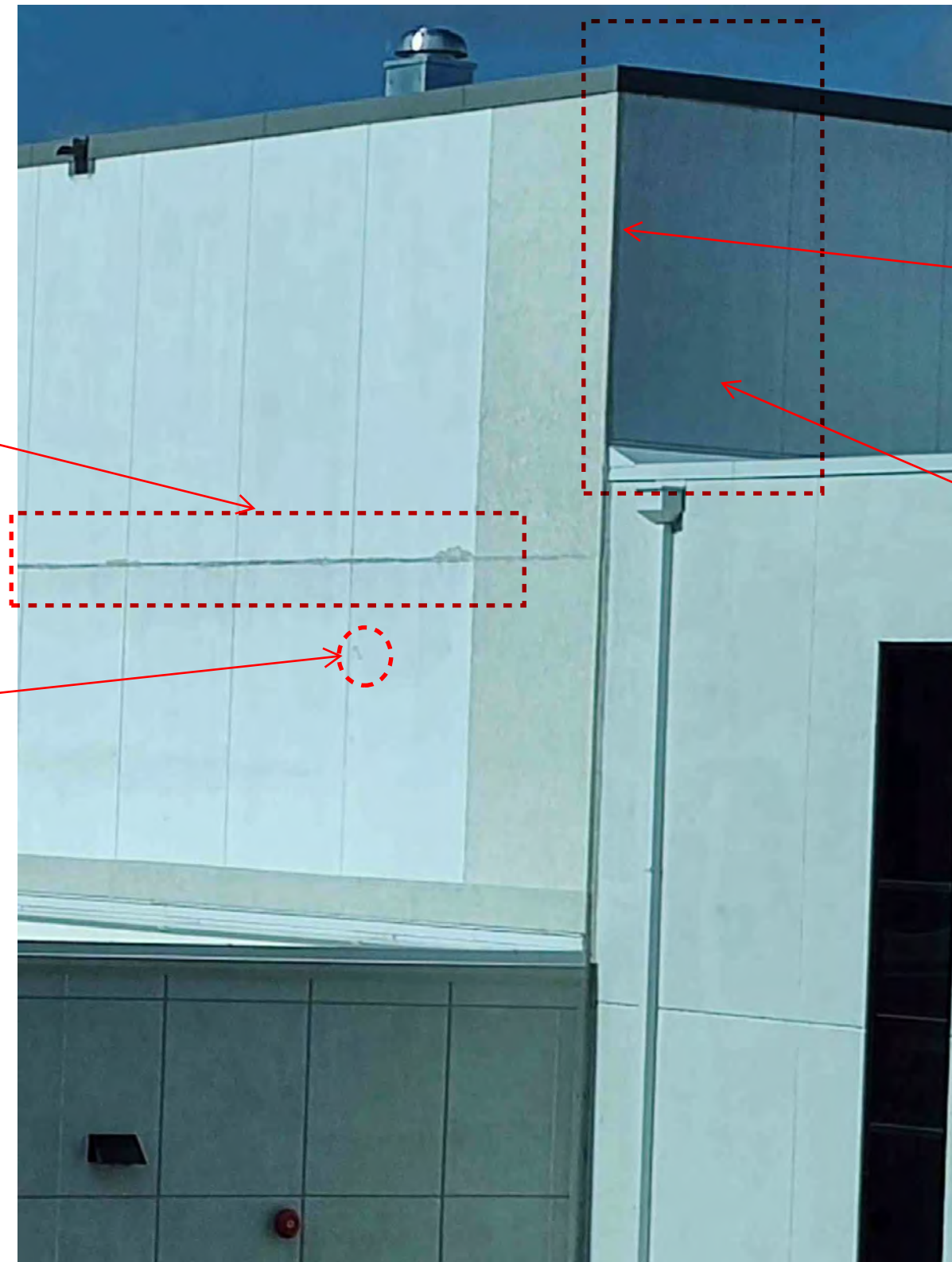


PARTIAL FLOOR PLAN (ALTERNATE NO.2)

SCALE: 1/8" = 1'-0"



Picture "6A"



Picture "6B"

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS AND EXTENT OF THE WORK. ANY ITEMS NOT SPECIFICALLY INDICATED THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BID FOR CLARIFICATION.
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LEGEND

----- LINE INDICATES AREA OF E.I.F.S. TO BE CLEANED AND PAINTED. SEE GENERAL NOTES ON SHEET A0.

EXTERIOR FACADE REPAIRS 2024

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PROJECT NO.
2310-02

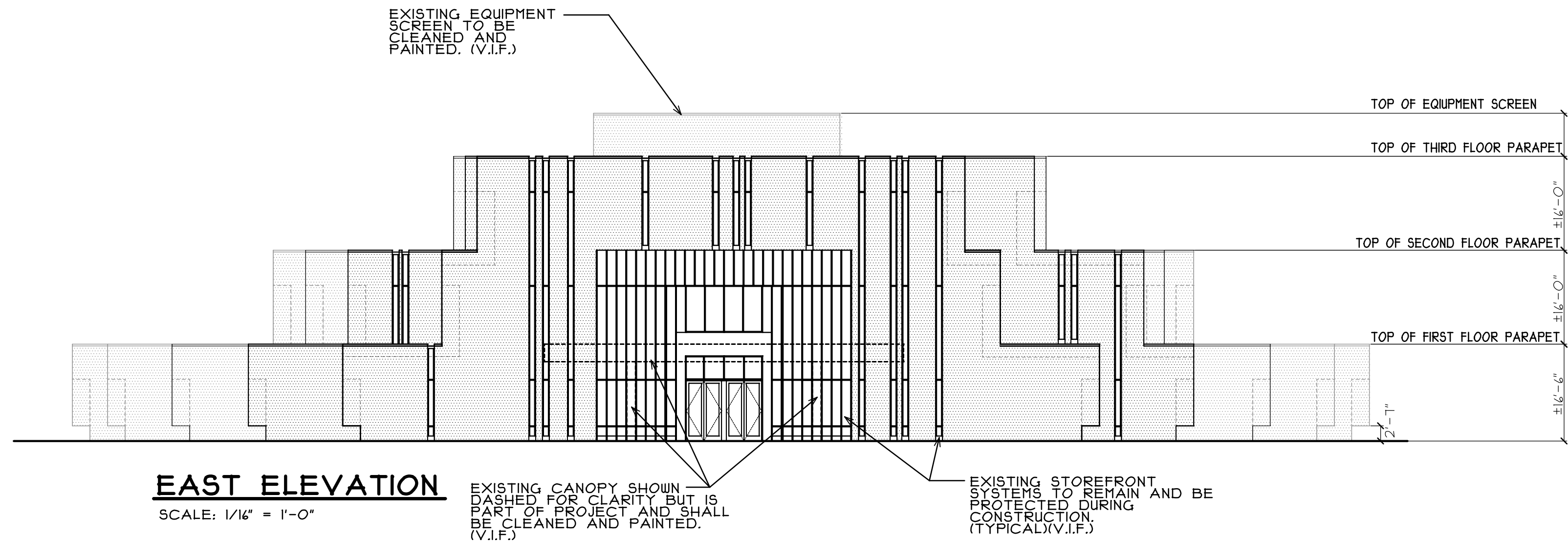
SHEET NUMBER

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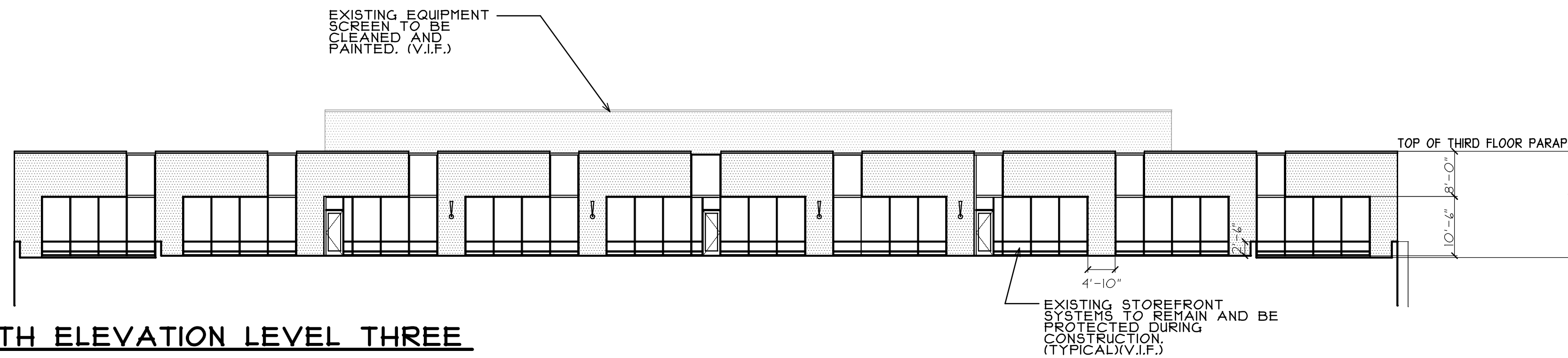
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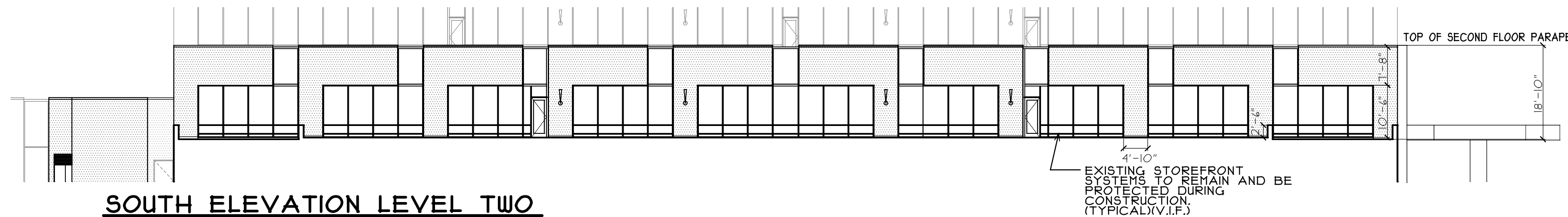
EAST ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES

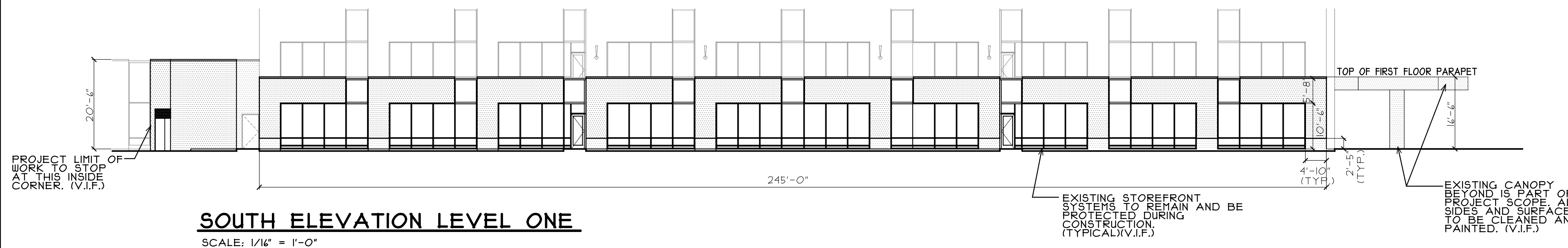
- A. ALL DIMENSIONS ARE (+/-) VERIFY IN FIELD.
B. ALL E.F.F.S SURFACE IN PROJECT AREA TO BE CLEANED AND PAINTED. SEE PLAN SHEET FOR LOCATION OF IDENTIFIED AREAS OF REPAIR WORK TO BE COMPLETED PRIOR TO FINAL PAINT COATING.



SOUTH ELEVATION LEVEL THREE
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION LEVEL TWO
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION LEVEL ONE
SCALE: 1/16" = 1'-0"

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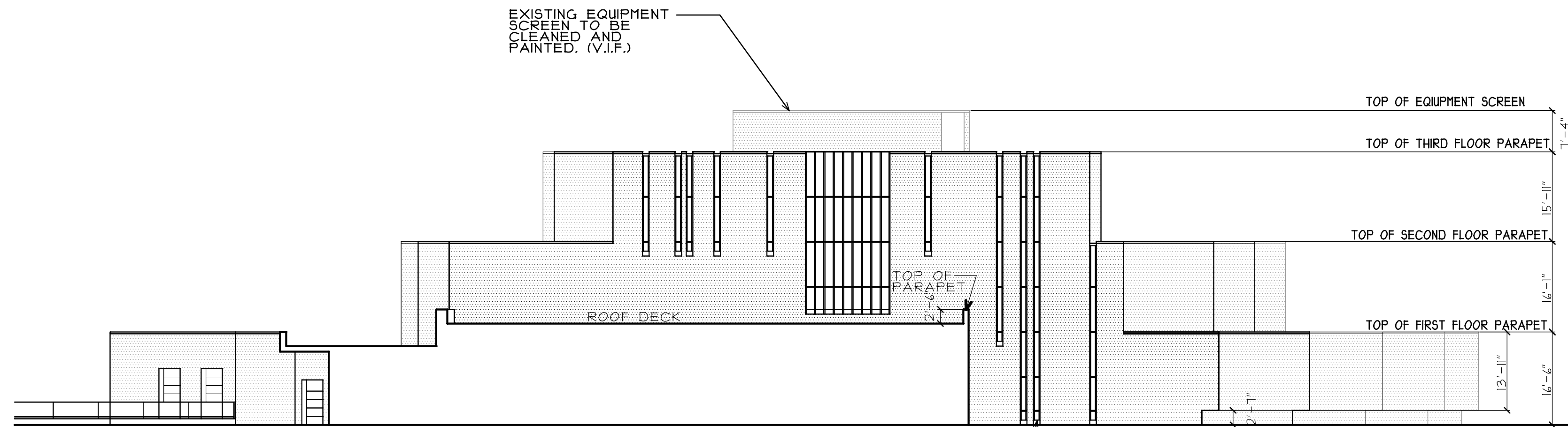
EXTERIOR FACADE REPAIRS 2024
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SHEET NUMBER
A7
OF 12 SHEETS

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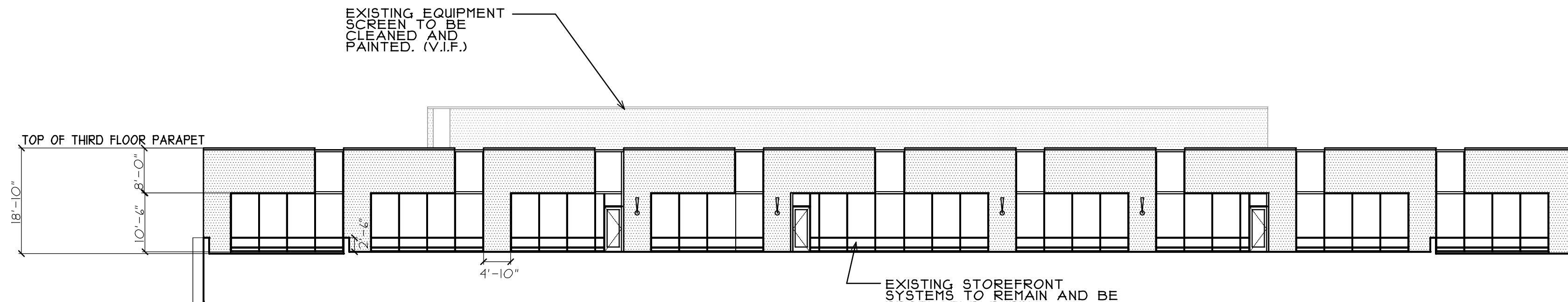


WEST ELEVATION

SCALE: 1/16" = 1'-0"

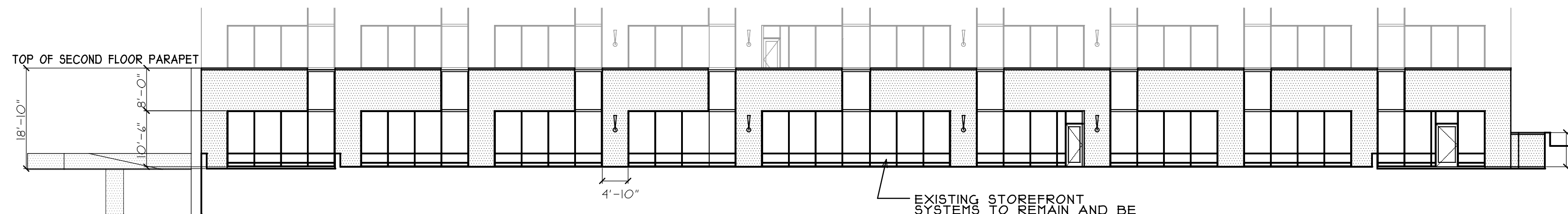
GENERAL NOTES

- A. ALL DIMENSIONS ARE (+/-) VERIFY IN FIELD.
B. ALL E.I.F.S SURFACE IN PROJECT AREA TO BE CLEANED AND PAINTED. SEE PLAN SHEET FOR LOCATION OF IDENTIFIED AREAS OF REPAIR WORK TO BE COMPLETED PRIOR TO FINAL PAINT COATING.



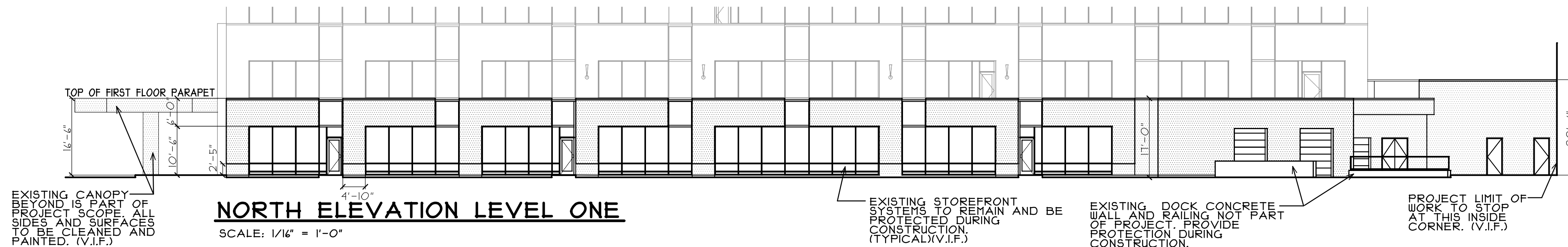
NORTH ELEVATION LEVEL THREE

SCALE: 1/16" = 1'-0"



NORTH ELEVATION LEVEL TWO

SCALE: 1/16" = 1'-0"



NORTH ELEVATION LEVEL ONE

SCALE: 1/16" = 1'-0"

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