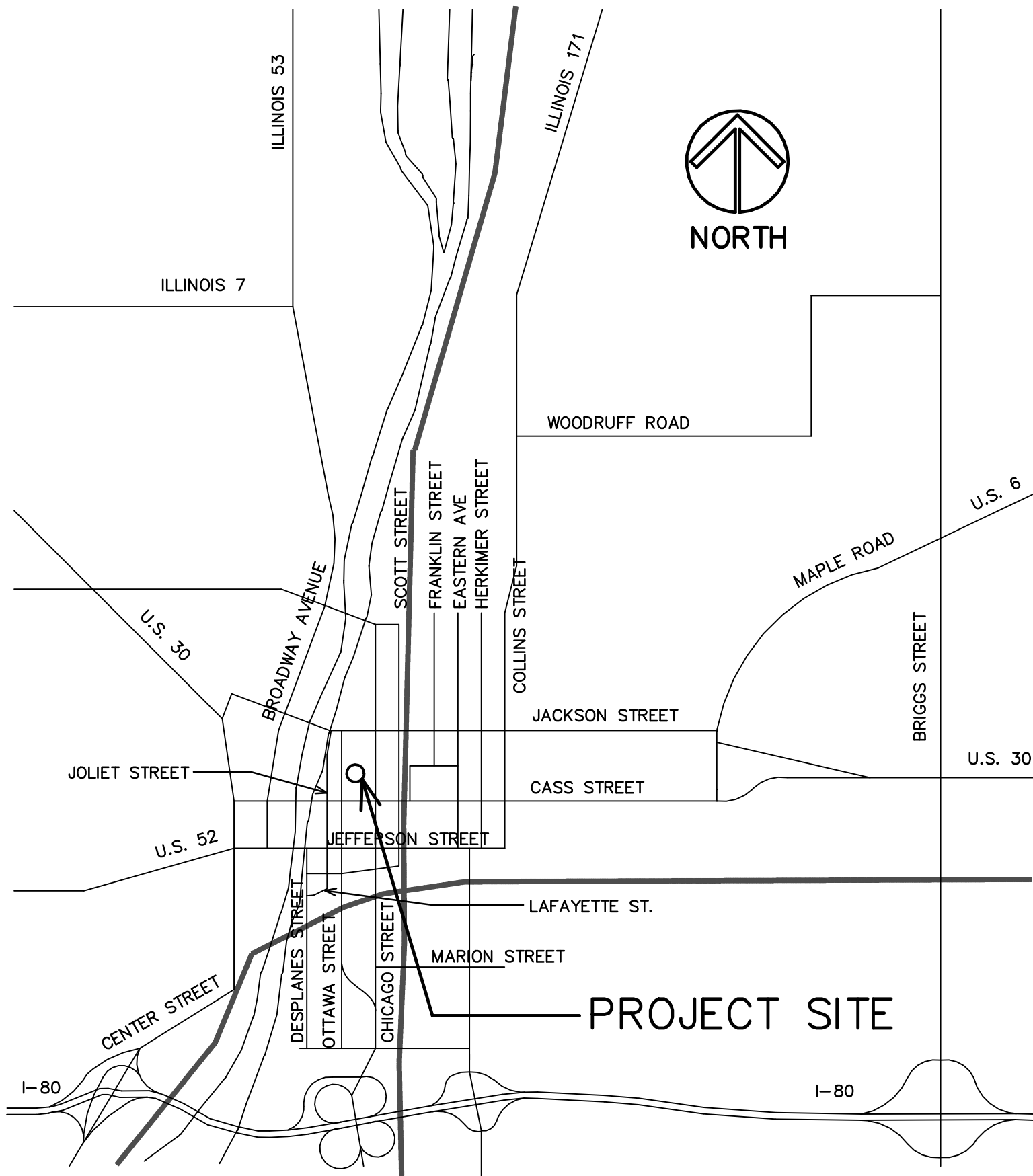


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LOCATION MAP



INDEX OF SHEETS

- T1 PROJECT TITLE, LOCATION, INDEX OF SHEETS
- A1 PARTIAL THIRD FLOOR/ROOF DEMO AND NEW PLANS
- A2 DETAILS AND SECTIONS

NOTE:
GENERAL CONTRACTOR TO PROVIDE A \$5,000 ALLOWANCE IN HIS/HER BID FOR UNFORESEEN/MISCELLANEOUS CONDITIONS. WHEN FIGURING THIS ALLOWANCE IN THE BID, THE CONTRACTOR IS TO INCLUDE ALL NECESSARY OVERHEAD AND PROFIT TO CARRY THIS DOLLAR VOLUME. THIS ALLOWANCE IS NOT FOR THE CONTRACTOR'S BENEFIT, AND IS ONLY AUTHORIZED TO CHARGE AGAINST THIS ALLOWANCE WHEN DIRECTED AND APPROVED BY JOLIET JUNIOR COLLEGE. THE CONTRACTOR WILL BE ALLOWED TO INVOICE FOR DIRECT MATERIAL AND RAW LABOR COSTS ONLY.

NEW ROOF ACCESS DOOR AND EQUIPMENT STAIRS

JOLIET JUNIOR COLLEGE
CITY CENTER
235 N. CHICAGO STREET
JOLIET, ILLINOIS

STROMSLAND + DE YOUNG + PRYBYS
ARCHITECTURE GROUP

20620 BURL COURT
JOLIET, IL 60433
PHONE: 815-727-1311
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REGISTRATION

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L. N. : 184-00437

NUMBER

SET

NEW ROOF ACCESS DOOR AND EQUIPMENT STAIRS
JOLIET JUNIOR COLLEGE- CITY CENTER
235 N CHICAGO STREET
JOLIET, ILLINOIS

DATE: 10/21/2021
REVISED:

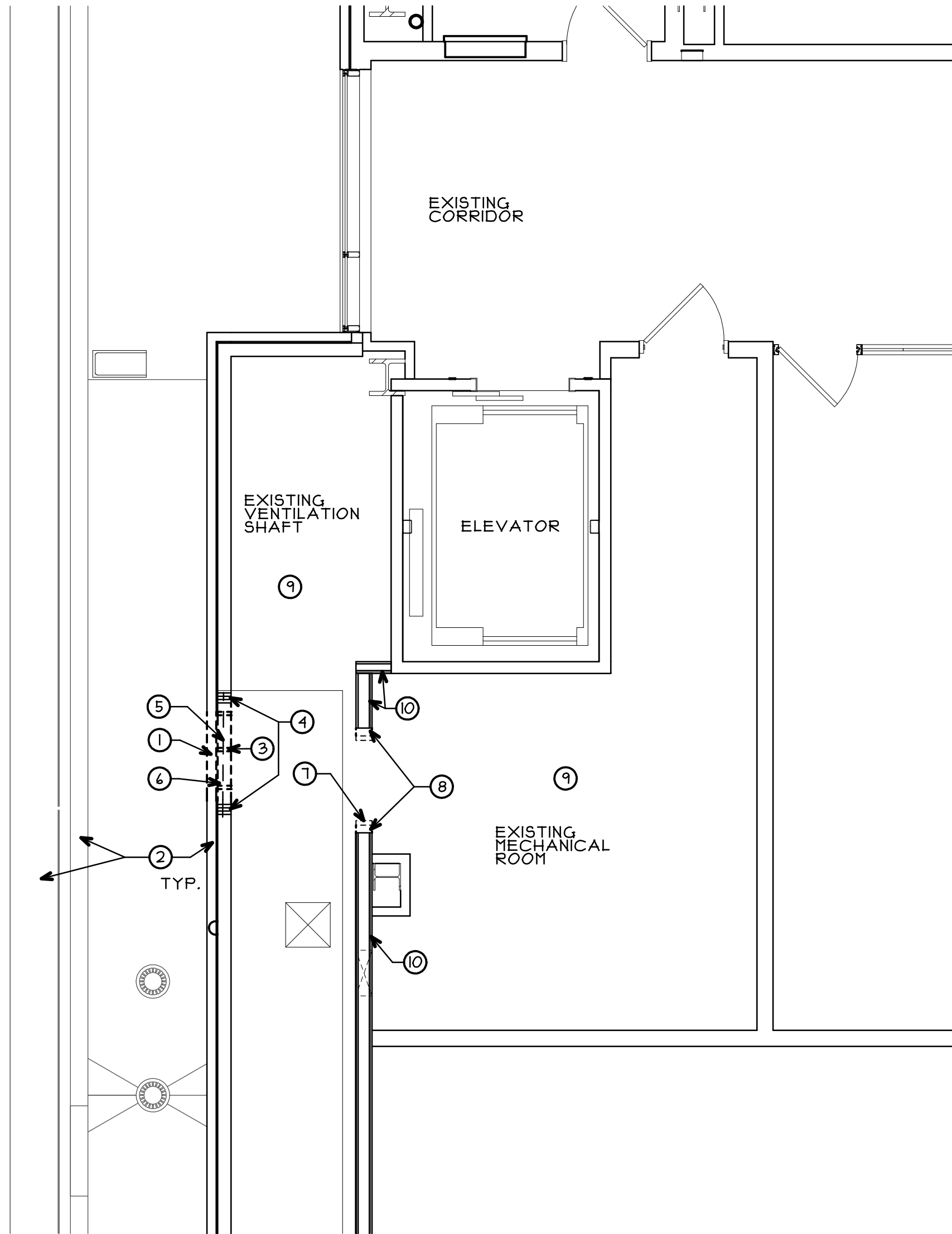
PROJECT NO.
2108-01

SHEET NUMBER

T1

OF 1 SHEETS

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PARTIAL DEMO THIRD FLOOR /ROOF PLAN

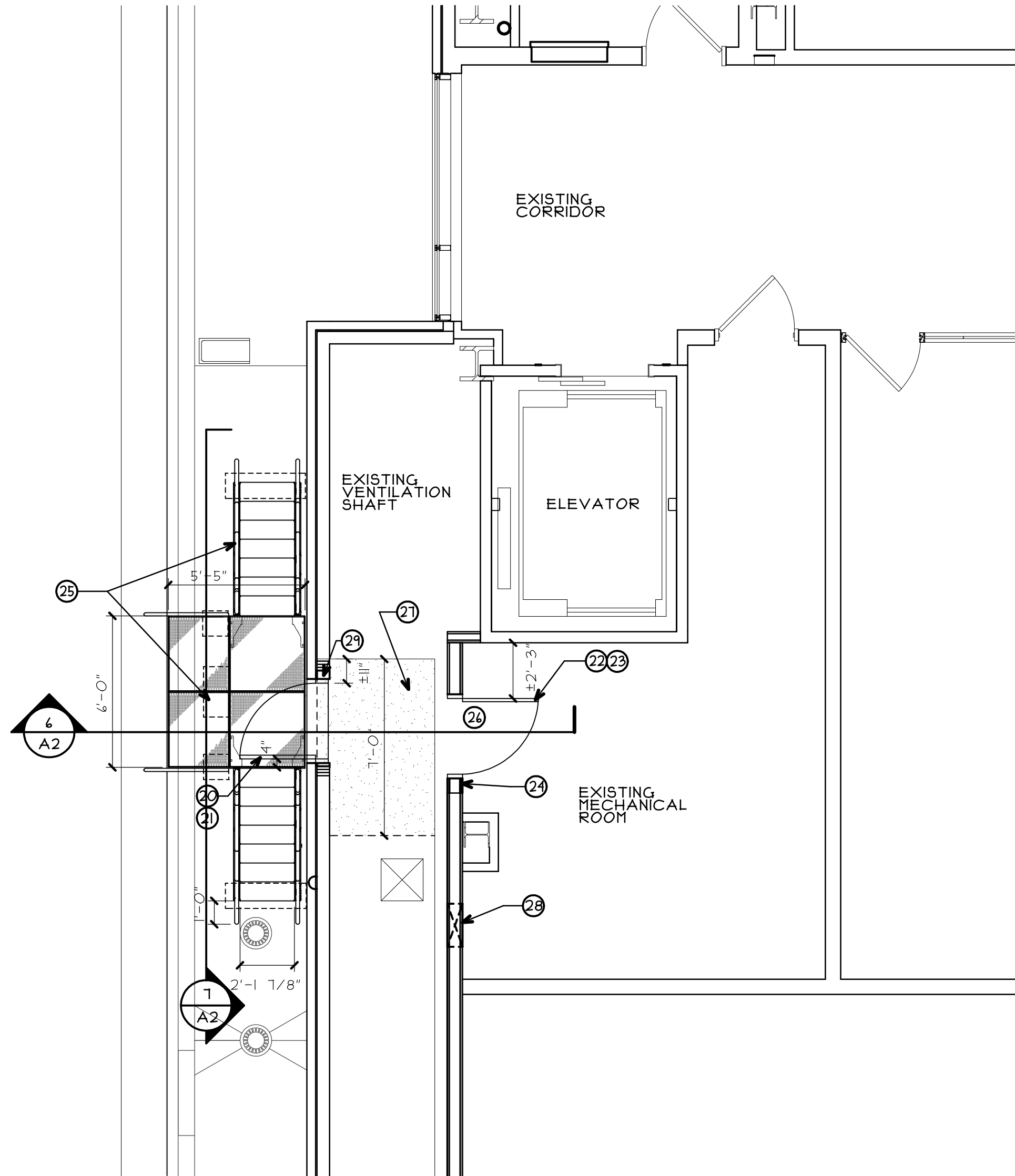
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

- ALL SALVAGED ITEMS NOT REUSED SHALL BE PLACED IN STORAGE, ON SITE, AT A LOCATION DESIGNATED BY THE OWNER.
- ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- PATCH & REPAIR HOLES AND/OR DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION DURING DEMOLITION.

DEMOLITION PLAN KEY NOTES

- REMOVE PORTION OF EXISTING EXTERIOR WALL E.I.F.S SYSTEM AND SHEATHING FOR NEW DOOR OPENING. SEE FLOOR PLAN FOR LOCATION AND SIZE. (V.I.F.)
- EXISTING EXTERIOR WALL TO REMAIN. (V.I.F.)
- EXISTING METAL STUDS TO BE MODIFIED BETWEEN TRIPLE STUDS FOR NEW DOOR OPENING. EXISTING BOTTOM TRACK TO BE REMOVED MODIFIED AS REQUIRED. (V.I.F.)
- EXISTING TRIPLE METAL STUDS TO REMAIN. (V.I.F.)
- EXISTING METAL WALL STRAPPING BETWEEN TRIPLE STUDS TO BE REMAIN TO BE RELOCATED UP TWO STUD HOLES TO BE ABOVE NEW DOOR OPENING. (V.I.F.)
- EXISTING STEEL ANGLE TO BE GROUND DOWN TO METAL DECK SO AS TO NOT STICK ABOVE NEW FLOOR SLAB. (V.I.F.)
- REMOVE EXISTING INCORRECT FIRE RATED DOOR FRAME . SALVAGE TO OWNER (V.I.F.)
- REMOVE EXISTING METAL STUD INFILL IN EXISTING SHAFT WALL ASSEMBLY. (V.I.F.)
- EXISTING CONCRETE FLOOR SLAB TO REMAIN. (V.I.F.)
- EXISTING TWO HOUR SHAFT WALL ASSEMBLY TO REMAIN. (V.I.F.)



PARTIAL THIRD FLOOR/ROOF PLAN

SCALE: 1/4" = 1'-0"

FLOOR/ROOF PLAN GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS IN FIELD AND REPORT ALL DISCREPANCIES PRIOR TO NEW CONSTRUCTION.
- ALL PENETRATIONS OF FIRE WALLS NEW/EXISTING IN PROJECT AREA SHALL BE SEALED WITH AN APPROPRIATE UL LISTED THROUGH-WALL PENETRATION FIRESTOPPING SYSTEM.
- EXISTING EXTERIOR E.I.F.S WALL SYSTEM IS BELIEVED TO BE "STO POWERWALL NEXT DRAINAGE SYSTEM" WITH "STOLT" ACRYLIC TEXTURED FINISH PER ORIGINAL BUILDING CONSTRUCTION AS BUILT DATED JUNE 2019 (V.I.F.) PATCHING OF SYSTEM SHALL BE DONE WITH A SYSTEM THAT IS COMPATIBLE WITH SYSTEM NOTED ABOVE AND FINISH TEXTURE TO MATCH EXISTING. FINISH COLOR TO MATCH EXISTING. PROVIDE OWNER WITH COLOR SAMPLES TO MAKE SELECTION.
- PROVIDE 3/8" THICK RUBBER ROOF PROTECTION PADS (DUG-PAD BY W.R. MEADOWS OR APPROVED EQUAL) UNDER SUPPORT POINTS OF ALL NEW ROOF EQUIPMENT (LADDERS, PLATFORM SUPPORTS, ETC.)

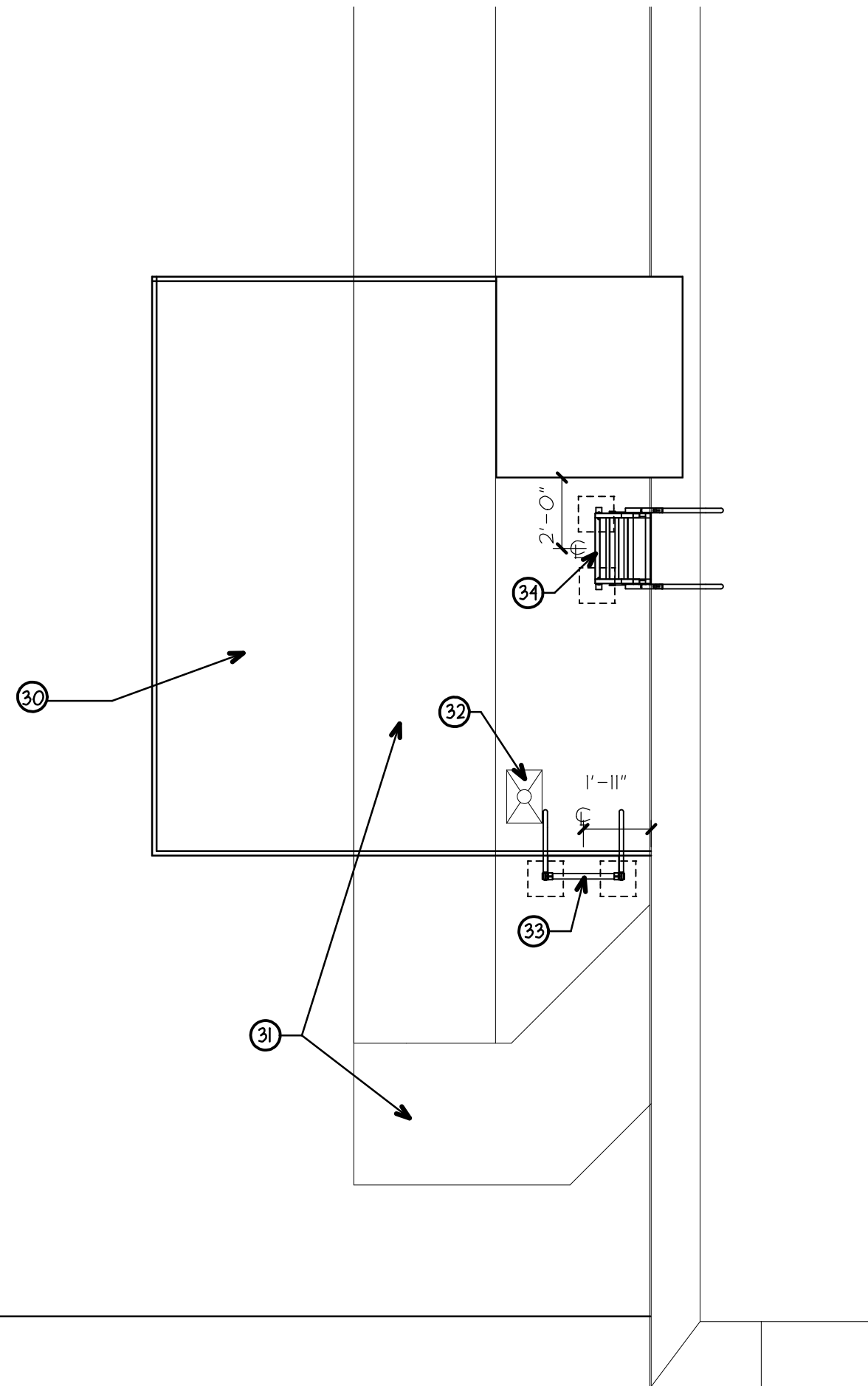
FLOOR/ROOF PLAN KEY NOTES

- PROVIDE 3'-0" X 1'-0" EXTERIOR INSULATED HOLLOW METAL DOOR AND FRAME SEE DETAILS 123 ON SHEET A2 (DOOR AND FRAME TO BE PAINTED BY OWNERS STAFF)
- DOOR HARDWARE:
 - 3 FIVE KNUCKLE BALL BEARING HINGES
 - 1 LEVER HANDLE STORAGE LOCK (FURNISHED BY OWNER INSTALLED BY CONTRACTOR)
 - 1 SET OF WEATHER STRIP GASKETING
 - 1 DOOR CLOSER WITH OVERHEAD STOP
 - 1 ALUMINUM THRESHOLD WITH BULB SEAL
- PROVIDE 3'-0" X 1'-0" FIRE RATED (90 MINUTE) METAL DOOR AND FRAME. SEE DETAILS 45 ON SHEET A2. INSTALL TO ONE SIDE OF WALL OPENING. (DOOR AND FRAME TO BE PAINTED BY OWNERS STAFF)
- DOOR HARDWARE:
 - 3 FIVE KNUCKLE BALL BEARING HINGES
 - 1 LEVER HANDLE STORAGE LOCK (FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR)
 - 1 SET OF FIRE/SMOKE GASKETING WITH INTUMESCENT SEAL
 - 1 DOOR CLOSER
 - 1 FLOOR STOP
- INFILL (2) HOUR SHAFT WALL ASSEMBLY WITH "LIKE MATERIALS" (UL V413 SYSTEM BUT ONE SIDE OF NEW DOOR FRAME TAPE IN AND FINISH GYPSUM BOARD TO EXISTING FLOOR BOARD. (V.I.F.) (INFILL TO BE PAINTED BY OWNERS STAFF)
- PROVIDE NEW ROOF TOP ALUMINUM EQUIPMENT PLATFORM AND STAIRS. (ALUMINUM PERFECT STEP SYSTEM BY ERECTA STEP OR APPROVED EQUAL) NEW PLATFORM AND STAIR ASSEMBLY TO BE DESIGNED BY MANUFACTURER AND SHOP DRAWINGS TO BE SIGNED AND STAMPED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS. NEW PLATFORM SUPPORT AND STAIR MAY NOT ANCHOR TO EXISTING ROOF AND MAY ONLY BE ANCHORED TO EXISTING WALL AS SHOWN IN SEE SECTIONS AND DETAILS.
- EXISTING CONCRETE FLOOR TO REMAIN. (V.I.F.)
- PROVIDE NEW CONCRETE #3 1/2" TOPPING WITH 4X4-12X12-1/2" W/1/2" W/1/2" ON TOP OF EXISTING METAL DECK (THICKNESS TO BE MATCH EXISTING) (PROVIDE STEEL CONCRETE ANGLE STOP ON EXPOSED EDGE OF NEW CONCRETE AREA)
- INFILL GYPSUM BOARD SHAFT WALL ASSEMBLY (2 HOUR) WITH "LIKE MATERIALS" (UL V413 SYSTEM BUT ONE SIDE OF NEW DOOR FRAME TAPE IN AND FINISH GYPSUM BOARD TO EXISTING AND FINISH TO MATCH EXISTING. (V.I.F.) (FINAL PAINTING TO BE BY OWNERS STAFF)
- INFILL WALL FRAMING BACK TO NEW DOOR ROUGH OPENING AS REQUIRED WITH SALVAGED WALL STUDS. (V.I.F.)
- EXISTING PENTHOUSE TO REMAIN. (V.I.F.)
- EXISTING DUCT WORK TO REMAIN. (V.I.F.)
- EXISTING ROOF VENT TO REMAIN. (V.I.F.)
- PROVIDE NEW ALUMINUM VERTICAL FIXED ROOF ACCESS LADDER WITH GRAB RAILS (VERTICAL RISE #10") (KATTCLIMB RL 3) WITH NON- PENETRATING BASE - LD419F BY FIXFASTUSA OR APPROVED EQUAL). LADDER TO BE ATTACHED TO WALL ONLY DO NOT ANCHOR BASE TO EXISTING ROOF.
- PROVIDE NEW ALUMINUM ANGLED FIXED ROOF ACCESS LADDER WITH GRAB RAILS (VERTICAL RISE #10") (KATTCLIMB RL 2) WITH NON- PENETRATING BASE - LD419F BY FIXFASTUSA OR APPROVED EQUAL). LADDER TO BE ATTACHED TO WALL ONLY DO NOT ANCHOR BASE TO EXISTING ROOF.



ROOF PLAN

SCALE: 1/4" = 1'-0"



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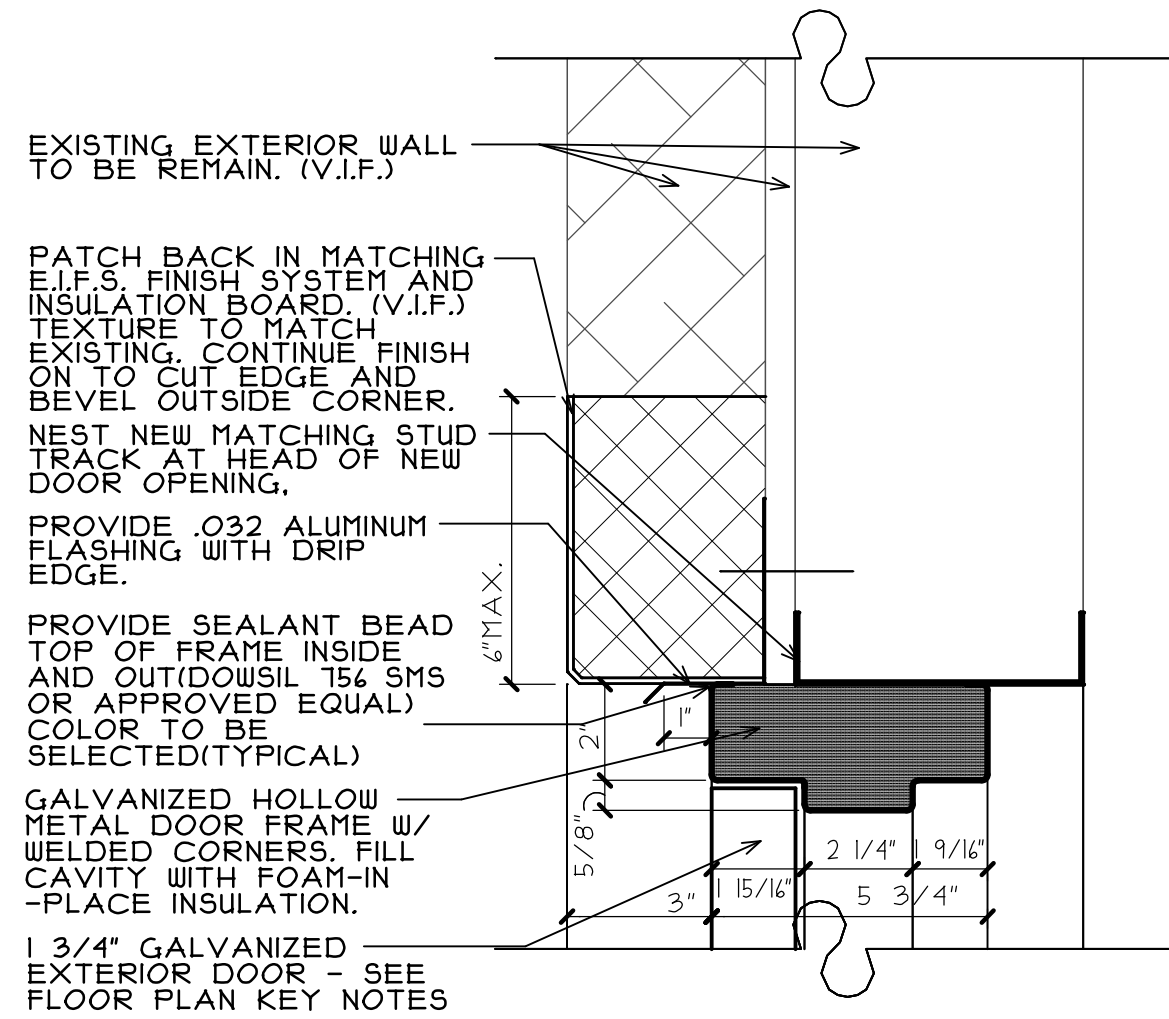
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OF 2 SHEETS

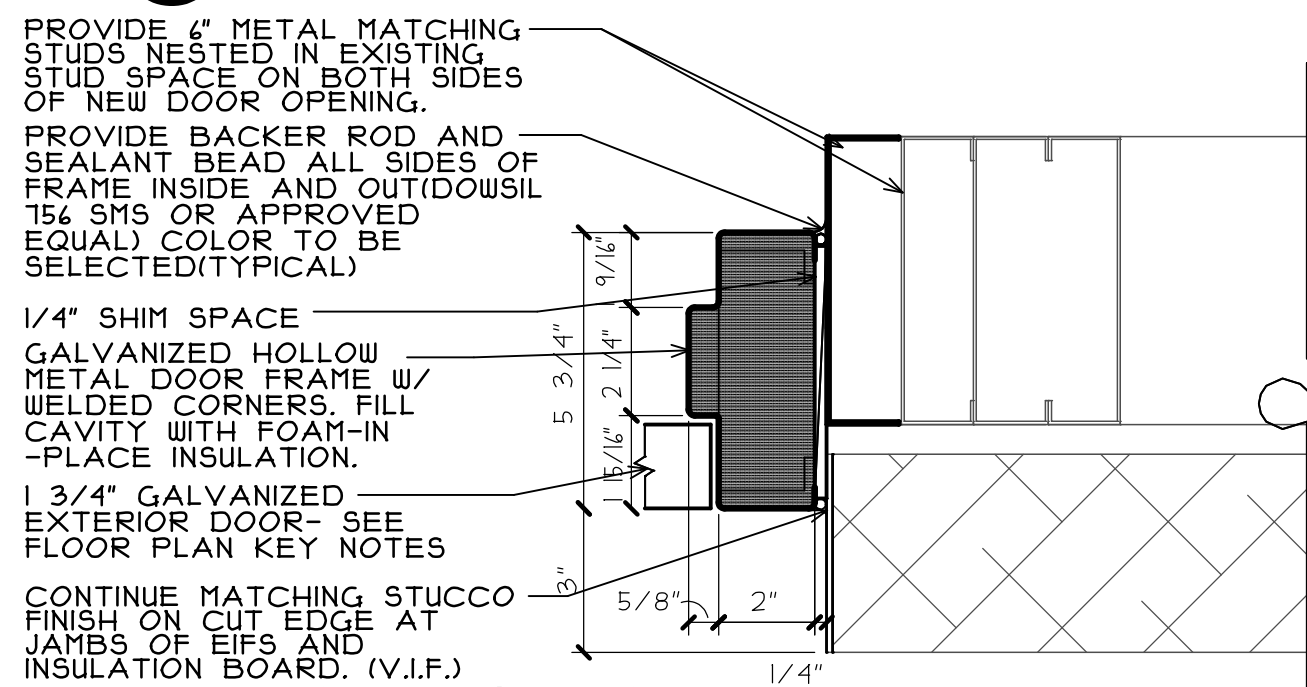
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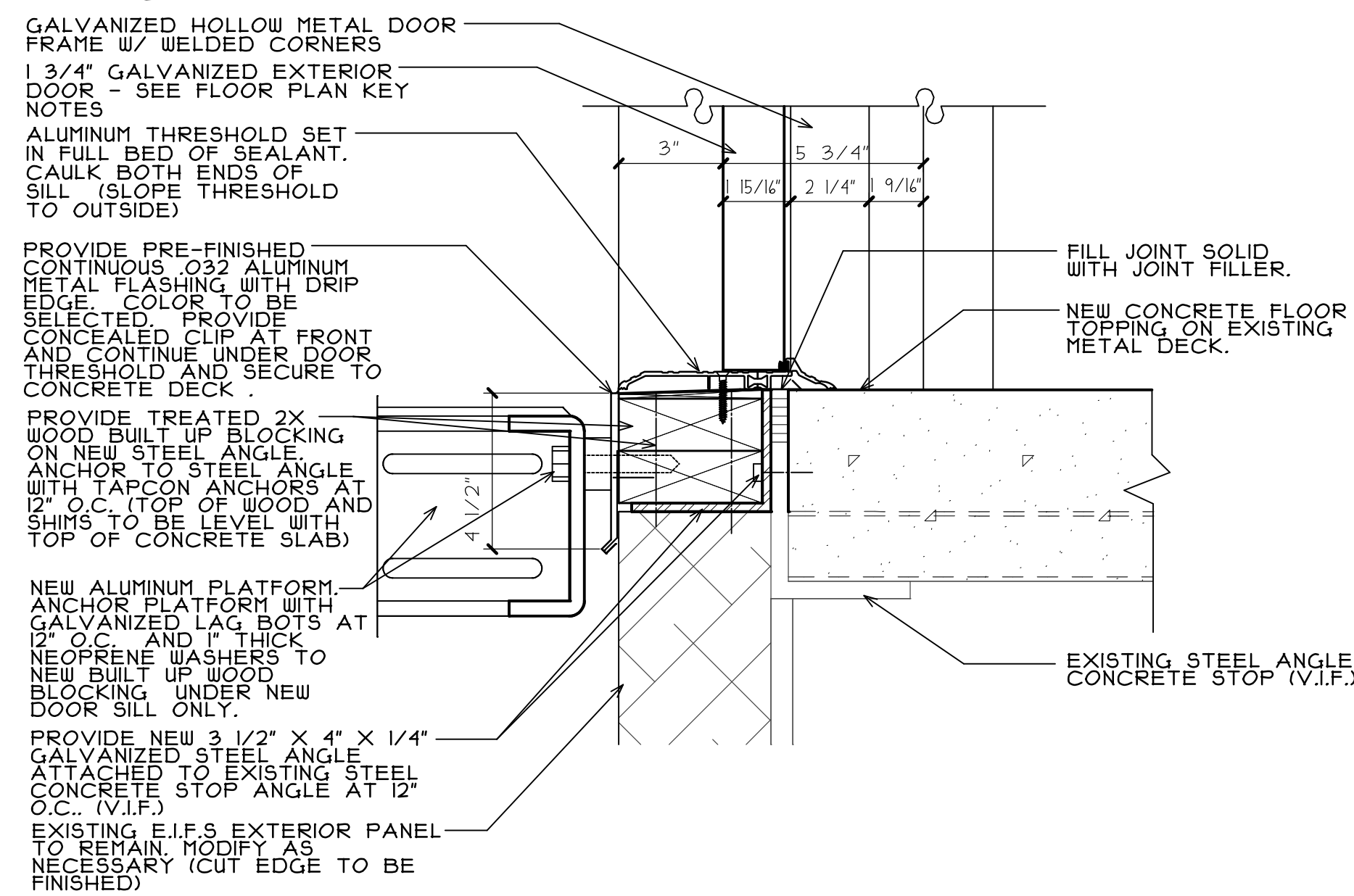
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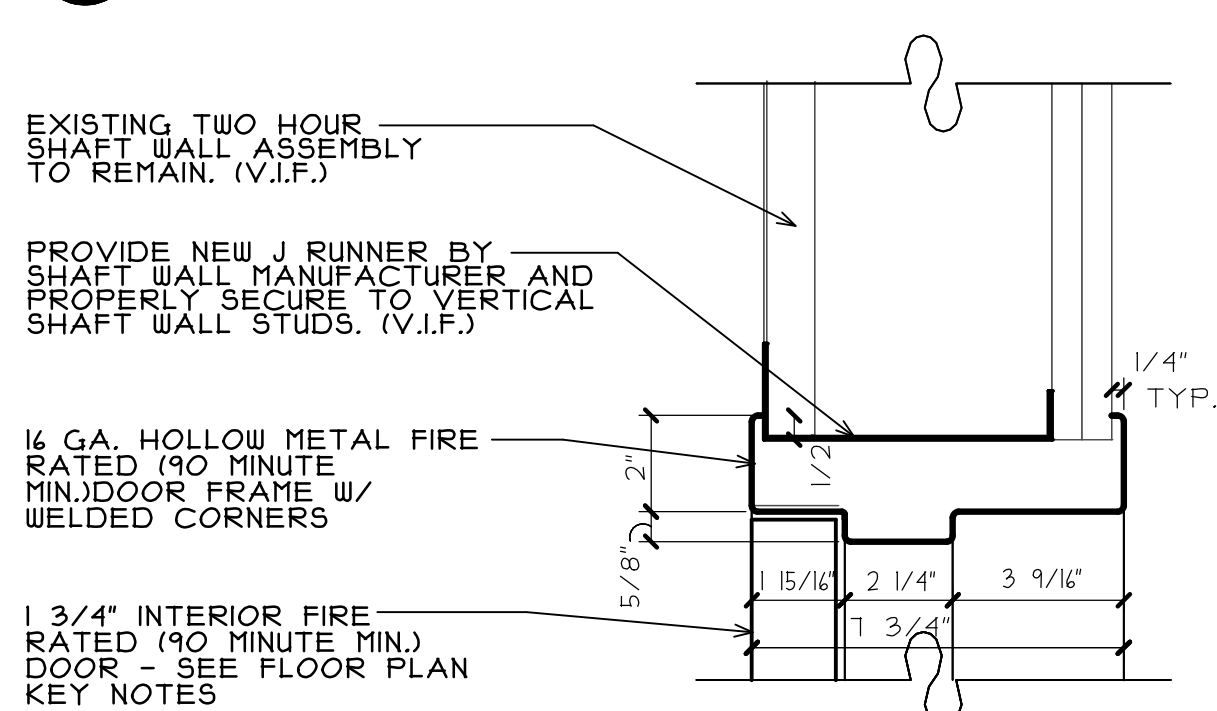
1 HEAD DETAIL
A2 SCALE: 3" = 1'-0"



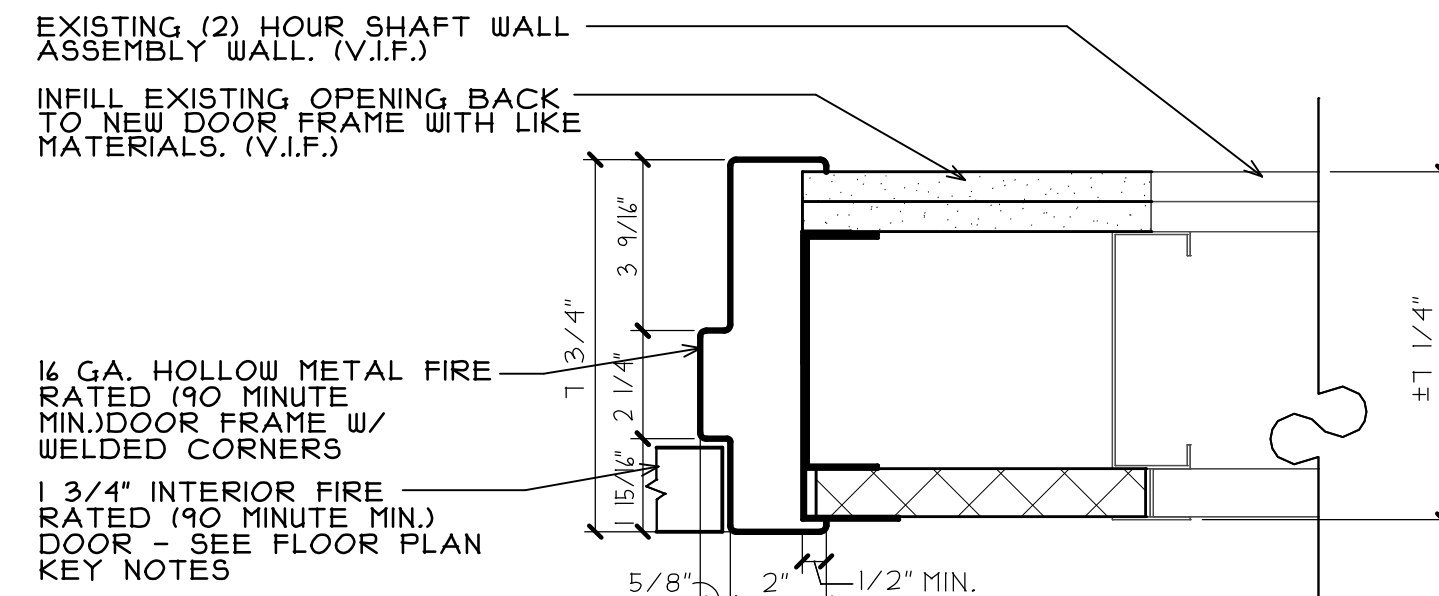
2 JAMB DETAIL
A2 SCALE: 3" = 1'-0"



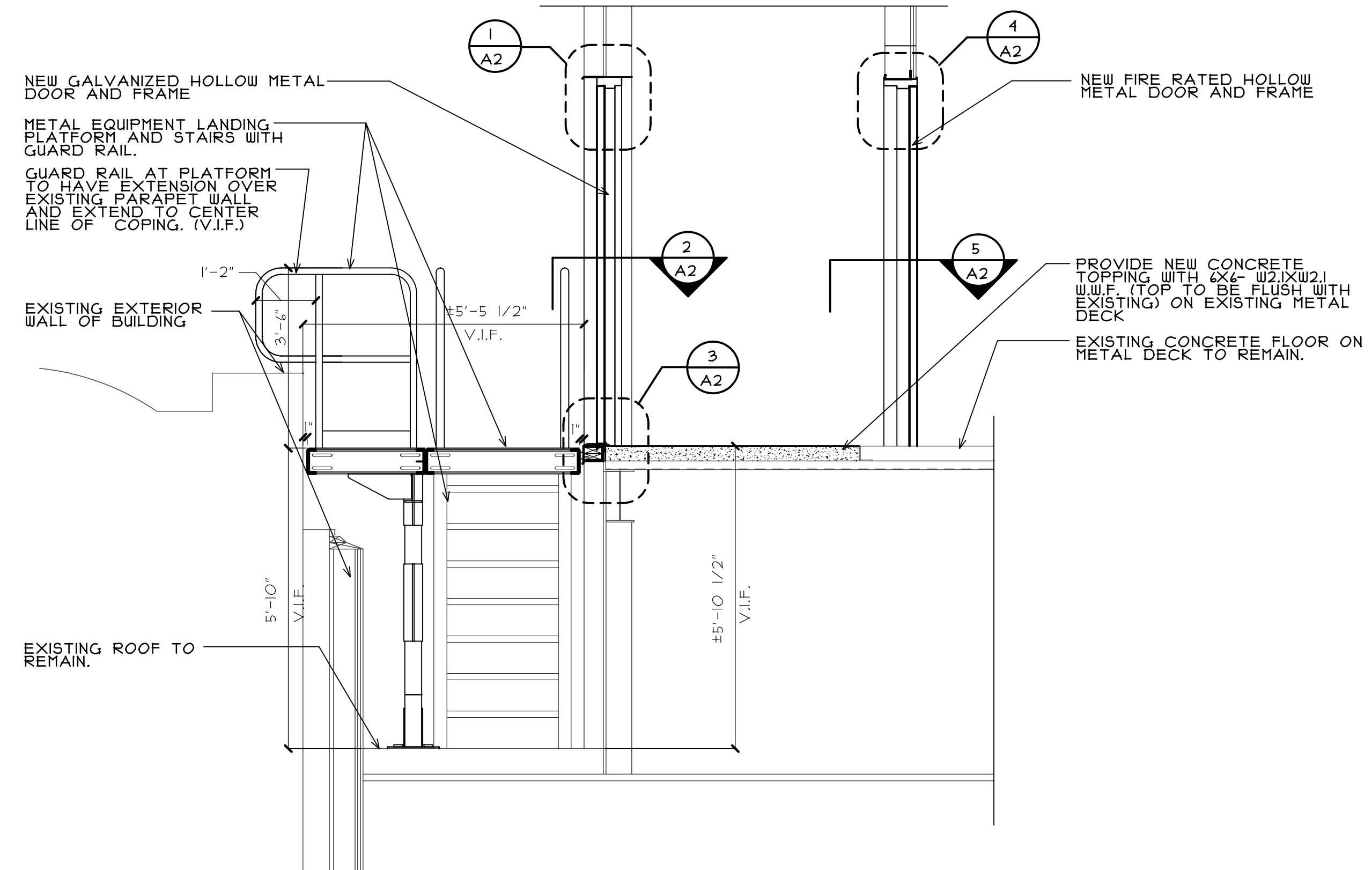
3 SILL DETAIL
A2 SCALE: 3" = 1'-0"



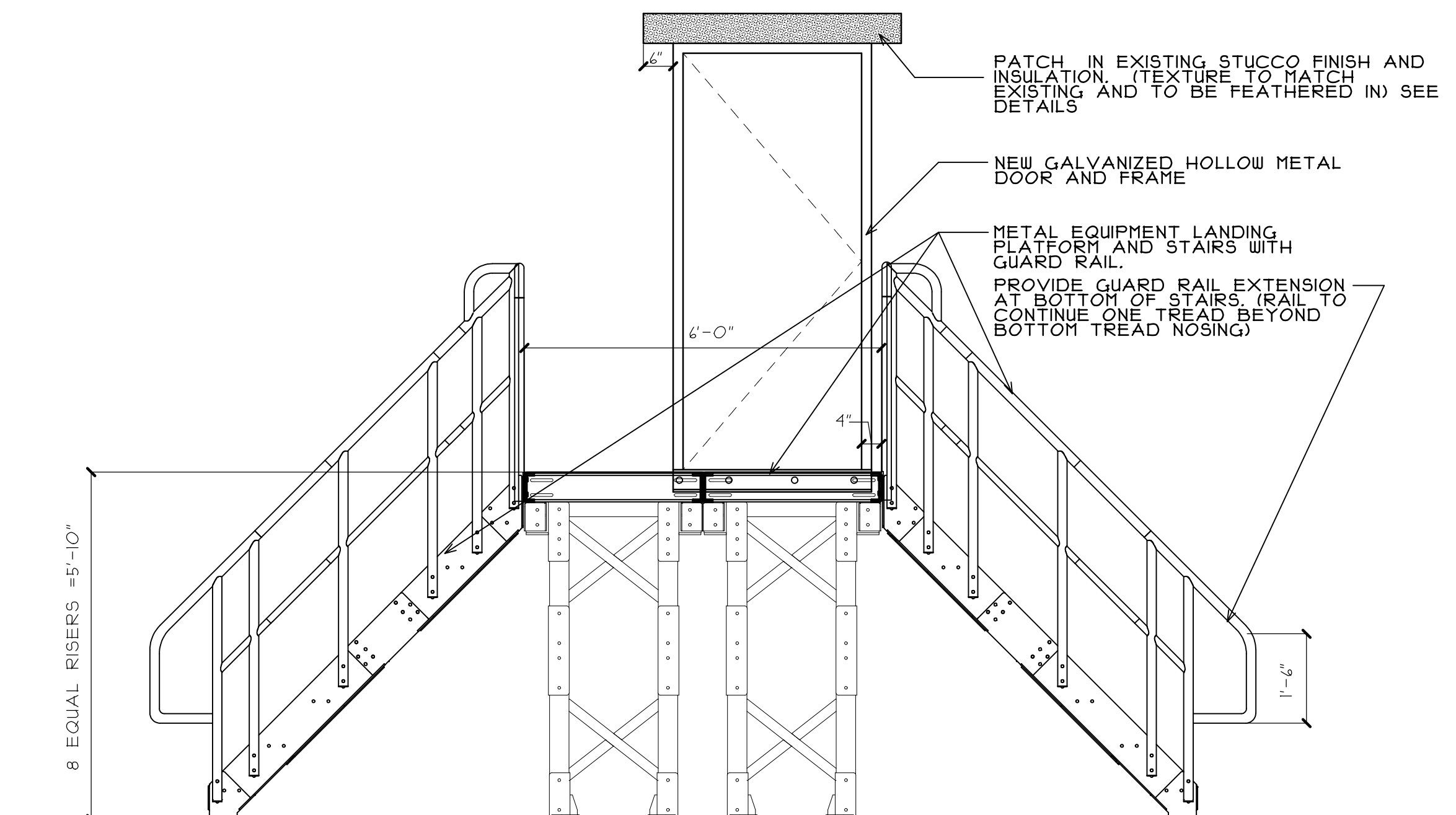
4 HEAD DETAIL
A2 SCALE: 3" = 1'-0"



5 JAMB DETAIL
A2 SCALE: 3" = 1'-0"



6 SECTION AT NEW DOORS
A2 SCALE: 3" = 1'-0"



1 ELEVATION AT NEW DOOR AND PLATFORM
A2 SCALE: 3" = 1'-0"

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