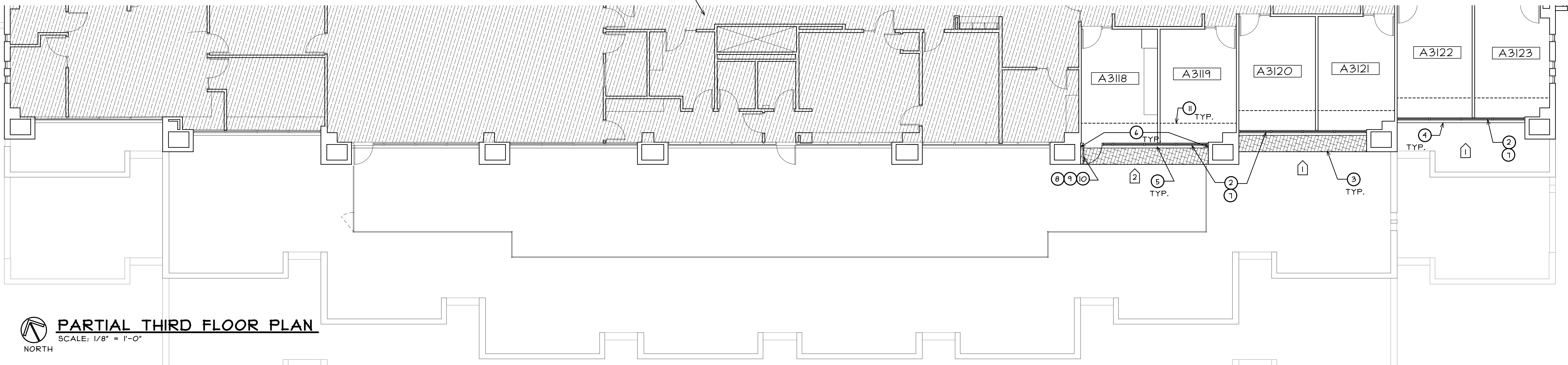


**PARTIAL THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



**PARTIAL THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

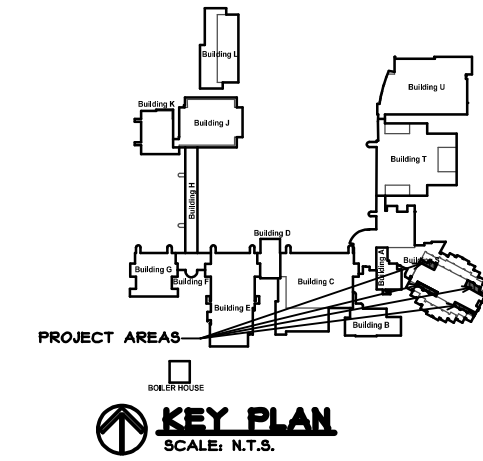
**GENERAL NOTES**

- A. EXISTING ROOM FLOOR FINISH TO BE REMOVED AND PATCHED BACK IN BY OWNERS STAFF. (TYPICAL)
- B. EXISTING FURNITURE AND EQUIPMENT IN PROJECT AREA TO BE REMOVED BY OWNERS STAFF. (U.N.O./V.I.F.)
- C. REPAIR OF SURROUNDING EXISTING CONSTRUCTION TO BE REPAIRED BY OWNERS STAFF. (V.I.F.)
- D. CONTRACTOR TO COORDINATE WITH OWNERS MAINTENANCE STAFF TO REMOVE AND RE-INSTALL EXISTING ELECTRIC STRIKE AND WIRING IN REMOVED AND NEW FRAME. (V.I.F.)

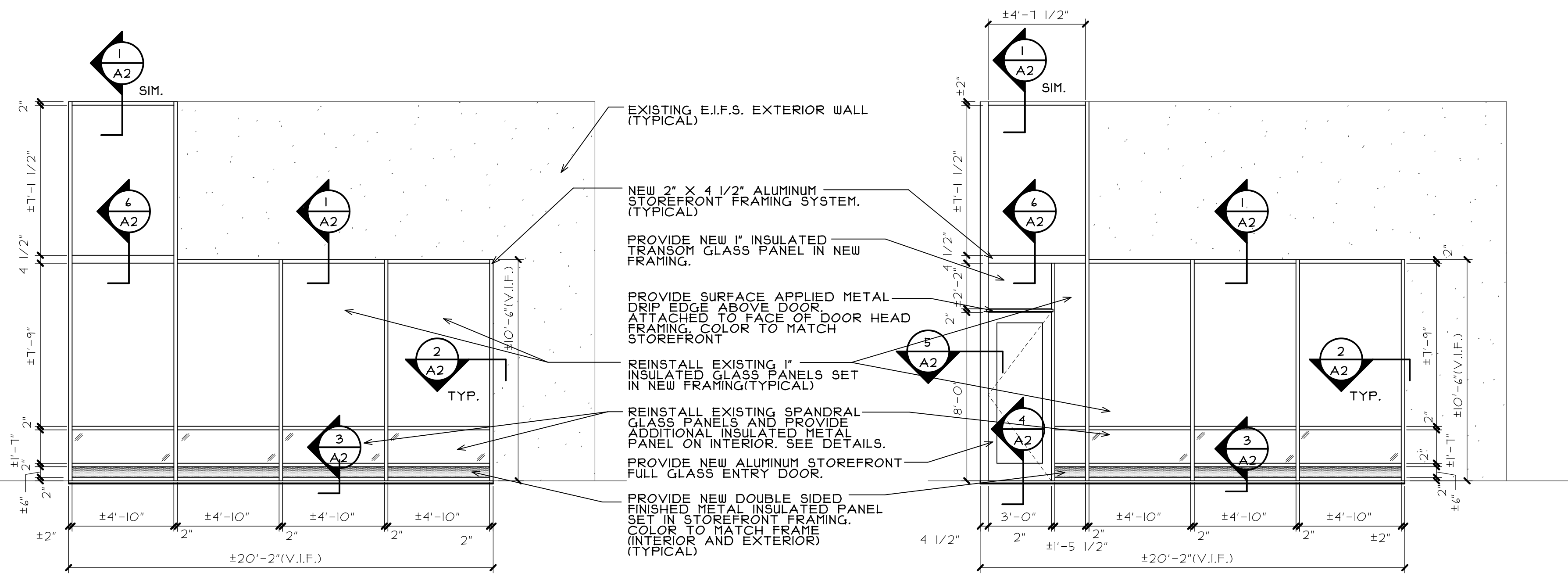
NOTE:  
 GENERAL CONTRACTOR TO PROVIDE A \$5,000 ALLOWANCE IN HIS/HER BID FOR UNFORESEEN/MISCELLANEOUS CONDITIONS. WHEN FIGURING THIS ALLOWANCE IN THE BID, THE CONTRACTOR IS TO INCLUDE ALL NECESSARY OVERHEAD AND PROFIT TO CARRY THIS DOLLAR VOLUME. THIS ALLOWANCE IS NOT FOR THE CONTRACTOR'S BENEFIT, AND IS ONLY AUTHORIZED TO CHARGE AGAINST THIS ALLOWANCE WHEN DIRECTED AND APPROVED BY JOLIET JUNIOR COLLEGE. THE CONTRACTOR WILL BE ALLOWED TO INVOICE FOR DIRECT MATERIAL AND RAW LABOR COSTS ONLY.

**KEY NOTES**

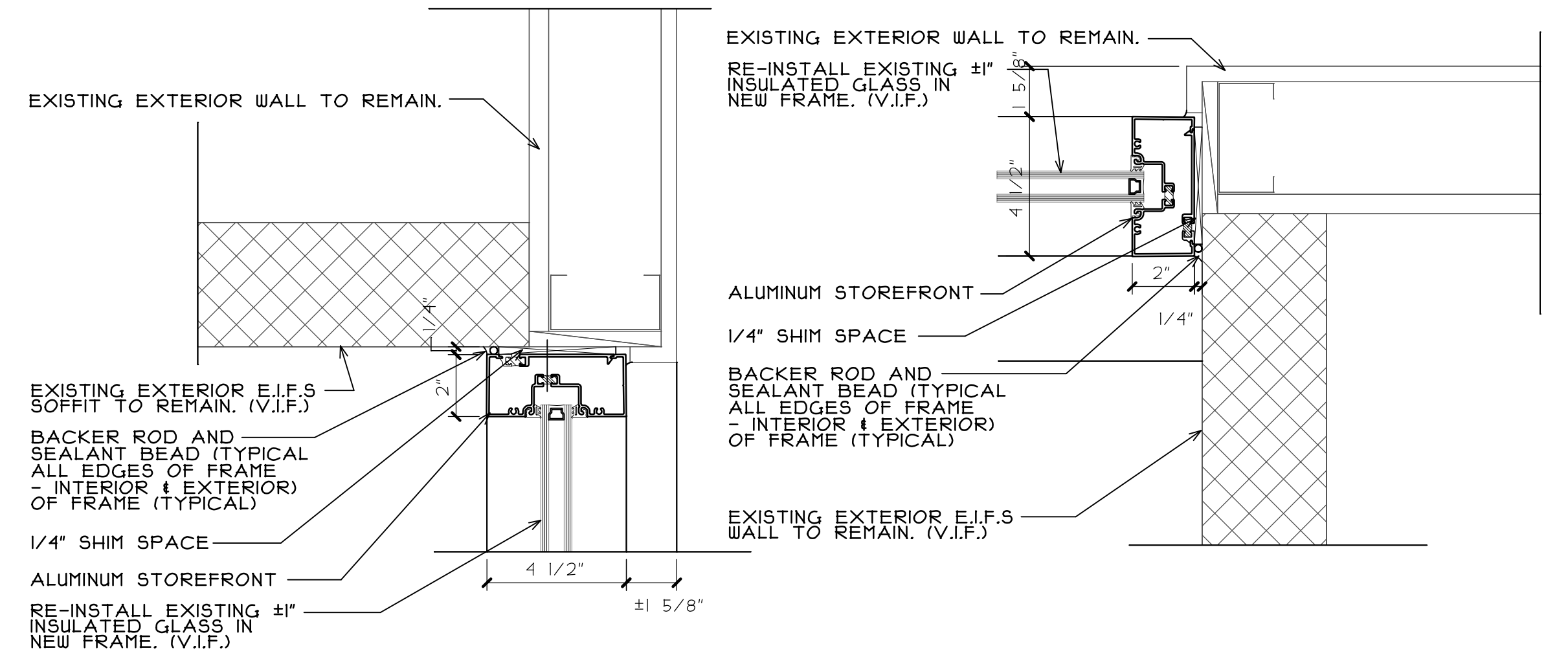
- 1 HATCH DESIGNATES AREA NOT IN PROJECT. (TYPICAL)
- 2 EXISTING GLASS AND ALUMINUM STOREFRONT FRAMING TO BE COMPLETELY REMOVED. EXISTING GLASS TO BE SALVAGED FOR RE-USE. STORE IN SAFE PLACE DURING CONSTRUCTION.
- 3 OWNERS STAFF TO REMOVE COARSE OF PATIO PAVERS AND LIVING ROOF ALONG WALL AT LOCATIONS OF REMOVED STOREFRONT FRAMING AS REQUIRED FOR REMOVAL AND REPLACEMENT OF SILL FLASHING. (V.I.F.)
- 4 EXISTING BENT METAL FLASHING AT STOREFRONT SILL TO BE COMPLETELY REMOVED. PROVIDE NEW PRE-FINISHED BENT METAL FLASHING WITH DRIP EDGE AND SET IN BED OF SEALANT. SEE DETAILS. (COLOR TO MATCH STOREFRONT FRAMING)
- 5 NEW METAL FLASHING TO BE BUTT JOINTED (1/8" GAP) SET IN BED OF SEALANT TO 8" WIDE MATCHING SPLICE PLATE FLASHING UNDERNEATH SPANNING JOINT, AND SET IN BED OF SEALANT (SPLICE SHEET TO BEND DOWN FACE OF WALL BEHIND FINISHED FLASHING). (TYPICAL/COLOR TO MATCH STOREFRONT FRAMING)
- 6 NEW METAL FLASHING AT ENDS TO BE TURNED UP WALL 2" MAX. AND SEAL TO SIDE WALL SET IN BED OF SEALANT. (TYPICAL EACH END)
- 7 PROVIDE NEW DARK BRONZE 2X4 1/2" ALUMINUM STOREFRONT FRAMING SYSTEM AND RE-INSTALL EXISTING GLASS PANEL INTO NEW FRAME. SEE ELEVATIONS
- 8 EXISTING STOREFRONT ENTRANCE DOOR TO BE REMOVED. EXISTING LEVER HANDLE TO BE SALVAGED AND RE-USE IN NEW ENTRANCE DOOR. (V.I.F.)
- 9 PROVIDE NEW 3'-0" X 8'-0" ALUMINUM STOREFRONT ENTRANCE DOOR. SEE DOOR TYPE ELEVATION ON SHEET A2.
- 10 DOOR HARDWARE:  
 1 CONTINUOUS GEARED HINGE  
 1 LEVER HANDLE (EXISTING SALVAGED TO BE RE-INSTALLED. DOOR TO BE PREPPED FOR EXISTING HARDWARE (VERIFY AND COORDINATE WITH EXISTING EQUIPMENT FOR PROPER PREP OF DOOR)  
 1 ELECTRIC STRIKE (FURNISHED AND INSTALLED BY OWNERS STAFF) FRAME TO BE PREPPED BY FRAME MANUFACTURER. (COORDINATE WITH OWNER FURNISHED EQUIPMENT)  
 1 SET OF ADHESIVE APPLIED WEATHER STRIP GASKETING  
 1 SET OF APPLIED WEATHER GASKETING  
 1 DOOR CLOSER WITH OVERHEAD STOP  
 1 ALUMINUM EXTENDED DEPTH THRESHOLD WITH BULB SEAL (ADA COMPLIANT)
- 11 PROVIDE TEMPORARY CONSTRUCTION SEPARATION WALL AT AREA OF CONSTRUCTION AS INDICATED. SEPARATION TO BE MAINTAINED DURING CONSTRUCTION. TEMPORARY WALLS TO BE GYPSUM BOARD AND WOOD STUDS UNLESS INSTRUCTED OTHERWISE BY OWNER. CONNECTION TO EXISTING CONSTRUCTION TO BE KEPT TO A MINIMUM AND SHALL BE REPAIRED TO CONDITION PRIOR TO NEW CONSTRUCTION. (V.I.F.)



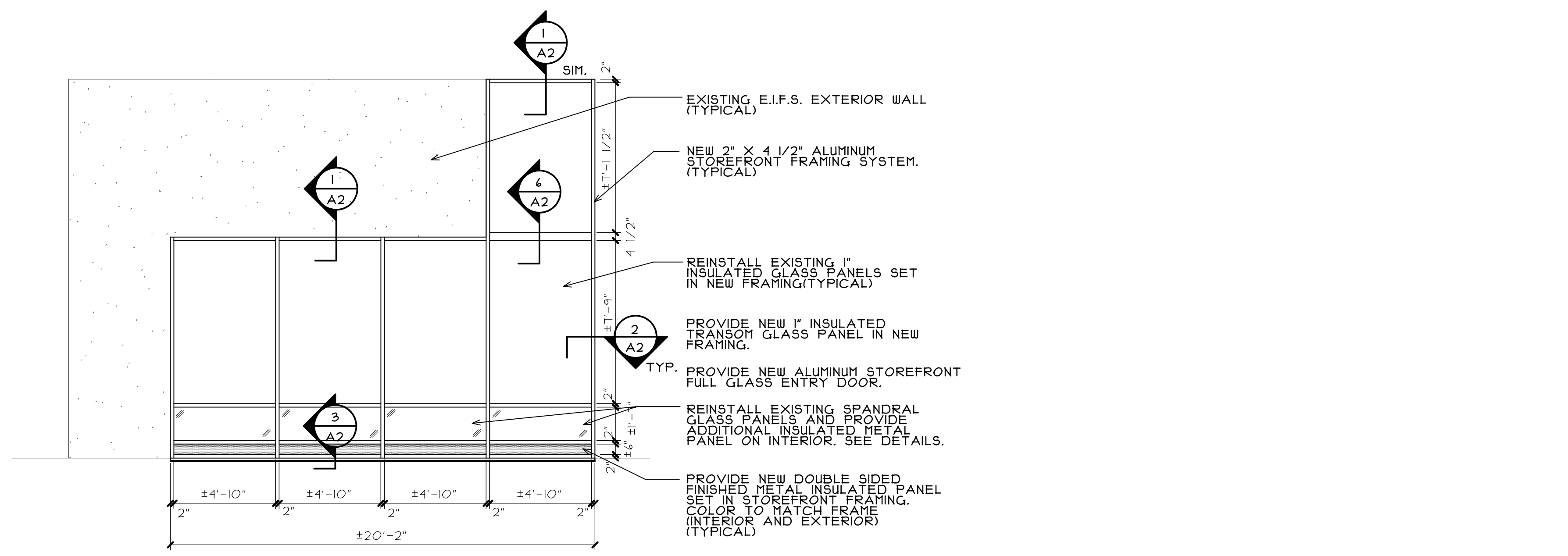
\\192.168.1.137\CURRENT PROJECTS\JJC- BUILDING A STOREFRONT REPLACEMENT\DRAWINGS\ARCH\A1AEC



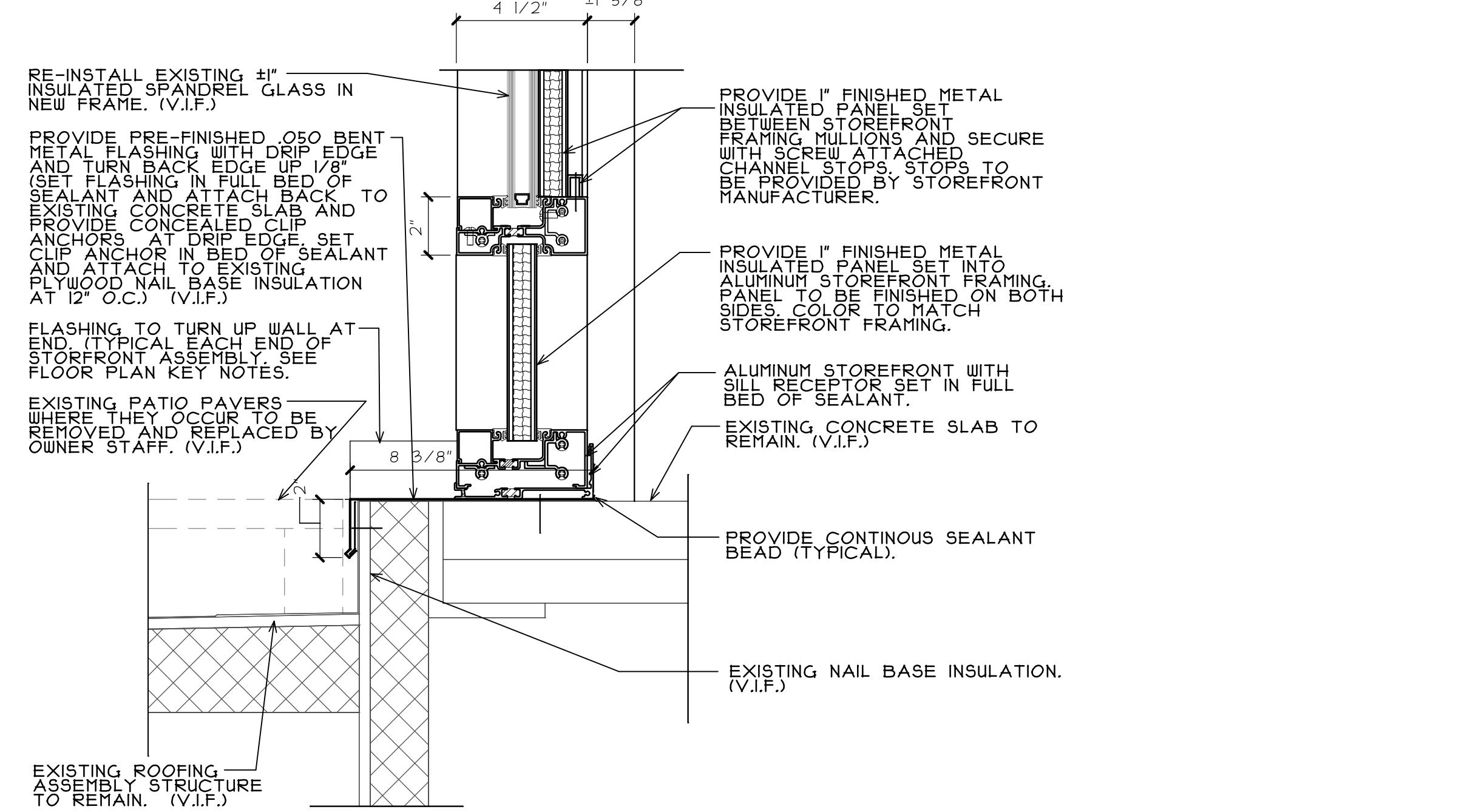
- EXISTING E.I.F.S. EXTERIOR WALL (TYPICAL)
- NEW 2" X 4 1/2" ALUMINUM STOREFRONT FRAMING SYSTEM (TYPICAL)
- PROVIDE NEW 1" INSULATED TRANSPARENT GLASS PANEL IN NEW FRAMING.
- PROVIDE SURFACE APPLIED METAL DRIP EDGE ABOVE DOOR ATTACHED TO FACE OF DOOR HEAD FRAMING. COLOR TO MATCH STOREFRONT
- REINSTALL EXISTING 1" INSULATED GLASS PANELS SET IN NEW FRAMING (TYPICAL)
- REINSTALL EXISTING SPANDREL GLASS PANELS AND PROVIDE ADDITIONAL INSULATED METAL PANEL ON INTERIOR. SEE DETAILS.
- PROVIDE NEW ALUMINUM STOREFRONT FULL GLASS ENTRY DOOR.
- PROVIDE NEW DOUBLE SIDED FINISHED METAL INSULATED PANEL SET IN STOREFRONT FRAMING. COLOR TO MATCH FRAME (INTERIOR AND EXTERIOR) (TYPICAL)



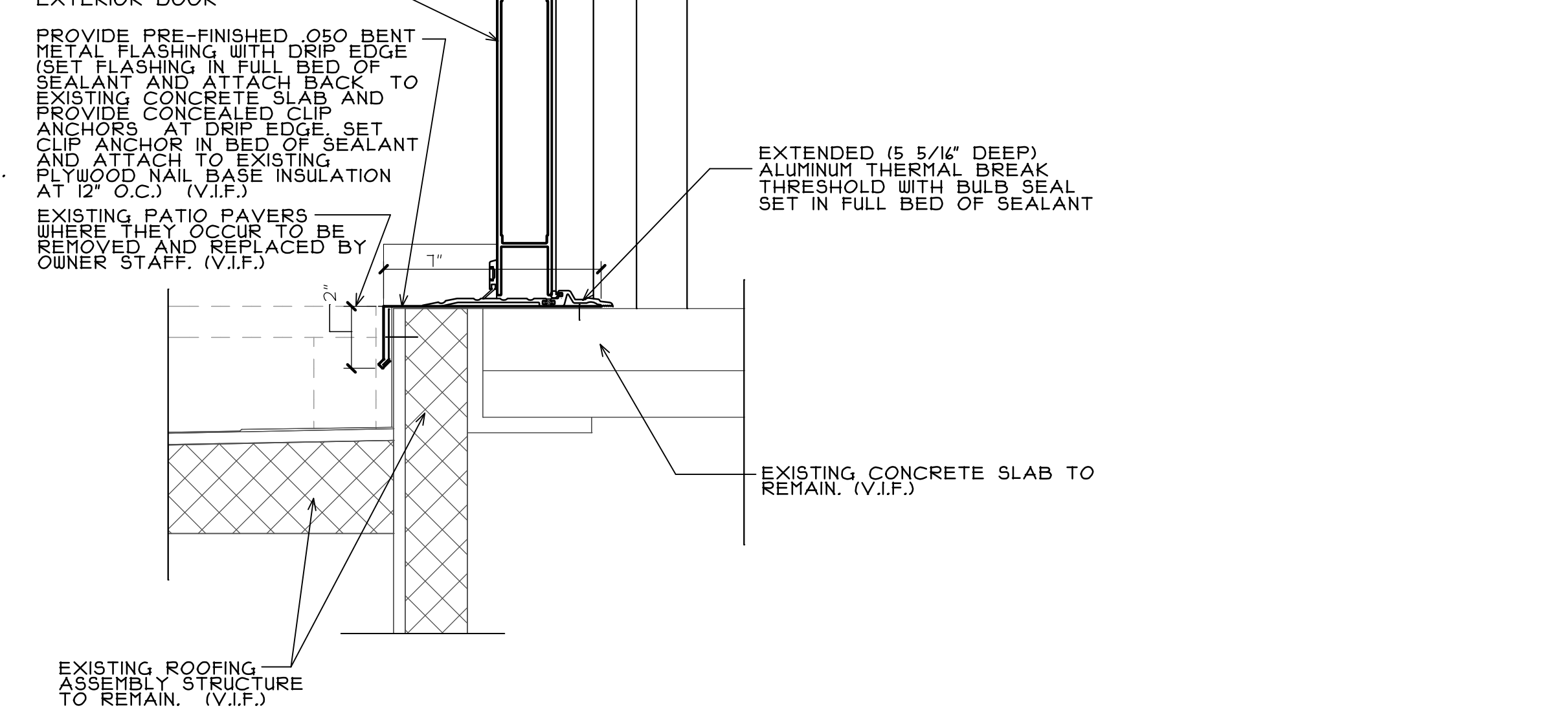
- EXISTING EXTERIOR WALL TO REMAIN.
- RE-INSTALL EXISTING 1" INSULATED GLASS IN NEW FRAME. (V.I.F.)
- ALUMINUM STOREFRONT
- 1/4" SHIM SPACE
- BACKER ROD AND SEALANT BEAD (TYPICAL ALL EDGES OF FRAME - INTERIOR & EXTERIOR) OF FRAME (TYPICAL)
- EXISTING EXTERIOR E.I.F.S. WALL TO REMAIN. (V.I.F.)
- RE-INSTALL EXISTING 1" INSULATED GLASS IN NEW FRAME. (V.I.F.)



- EXISTING E.I.F.S. EXTERIOR WALL (TYPICAL)
- NEW 2" X 4 1/2" ALUMINUM STOREFRONT FRAMING SYSTEM (TYPICAL)
- REINSTALL EXISTING 1" INSULATED GLASS PANELS SET IN NEW FRAMING (TYPICAL)
- PROVIDE NEW 1" INSULATED TRANSPARENT GLASS PANEL IN NEW FRAMING.
- PROVIDE NEW ALUMINUM STOREFRONT FULL GLASS ENTRY DOOR.
- REINSTALL EXISTING SPANDREL GLASS PANELS AND PROVIDE ADDITIONAL INSULATED METAL PANEL ON INTERIOR. SEE DETAILS.
- PROVIDE NEW DOUBLE SIDED FINISHED METAL INSULATED PANEL SET IN STOREFRONT FRAMING. COLOR TO MATCH FRAME (INTERIOR AND EXTERIOR) (TYPICAL)



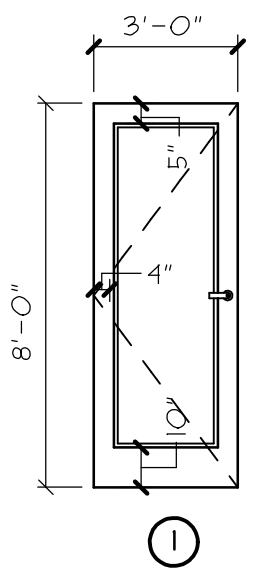
- RE-INSTALL EXISTING 1" INSULATED SPANDREL GLASS IN NEW FRAME. (V.I.F.)
- PROVIDE PRE-FINISHED .050 BENT METAL FLASHING WITH DRIP EDGE AND TURN BACK EDGE UP 1/8" (SET FLASHING IN FULL BED OF SEALANT AND ATTACH BACK TO EXISTING CONCRETE SLAB AND PROVIDE CONCEALED CLIP ANCHORS AT DRIP EDGE. SET CLIP ANCHOR IN BED OF SEALANT AND ATTACH TO EXISTING PLYWOOD NAIL BASE INSULATION AT 12" O.C.) (V.I.F.)
- FLASHING TO TURN UP WALL AT END (TYPICAL EACH END OF STOREFRONT ASSEMBLY. SEE FLOOR PLAN KEY NOTES.
- EXISTING PATIO PAVERS WHERE THEY OCCUR TO BE REMOVED AND REPLACED BY OWNER STAFF. (V.I.F.)
- EXISTING ROOFING ASSEMBLY STRUCTURE TO REMAIN. (V.I.F.)
- PROVIDE 1" FINISHED METAL INSULATED PANEL SET BETWEEN STOREFRONT FRAMING MULLIONS AND SECURE WITH SCREW ATTACHED CHANNEL STOPS. STOPS TO BE PROVIDED BY STOREFRONT MANUFACTURER.
- PROVIDE 1" FINISHED METAL INSULATED PANEL SET INTO ALUMINUM STOREFRONT FRAMING. PANEL TO BE FINISHED ON BOTH SIDES. COLOR TO MATCH STOREFRONT FRAMING.
- ALUMINUM STOREFRONT WITH SEALANT SET IN FULL BED OF SEALANT.
- EXISTING CONCRETE SLAB TO REMAIN. (V.I.F.)
- PROVIDE CONTINUOUS SEALANT BEAD (TYPICAL).
- EXISTING NAIL BASE INSULATION. (V.I.F.)



- 1" TEMPERED INSULATED GLASS
- ALUMINUM STOREFRONT EXTERIOR DOOR
- PROVIDE PRE-FINISHED .050 BENT METAL FLASHING WITH DRIP EDGE (SET FLASHING IN FULL BED OF SEALANT AND ATTACH BACK TO EXISTING CONCRETE SLAB AND PROVIDE CONCEALED CLIP ANCHORS AT DRIP EDGE. SET CLIP ANCHOR IN BED OF SEALANT AND ATTACH TO EXISTING PLYWOOD NAIL BASE INSULATION AT 12" O.C.) (V.I.F.)
- EXISTING PATIO PAVERS WHERE THEY OCCUR TO BE REMOVED AND REPLACED BY OWNER STAFF. (V.I.F.)
- EXISTING ROOFING ASSEMBLY STRUCTURE TO REMAIN. (V.I.F.)
- EXTENDED (5 5/16" DEEP) ALUMINUM THERMAL BREAK THRESHOLD WITH BULB SEAL SET IN FULL BED OF SEALANT
- EXISTING CONCRETE SLAB TO REMAIN. (V.I.F.)
- EXISTING EXTERIOR WALL TO REMAIN.
- ALUMINUM STOREFRONT
- 1/4" SHIM SPACE
- BACKER ROD AND SEALANT BEAD (TYPICAL ALL EDGES OF FRAME - INTERIOR & EXTERIOR) OF FRAME (TYPICAL)
- EXISTING EXTERIOR E.I.F.S. WALL TO REMAIN. (V.I.F.)

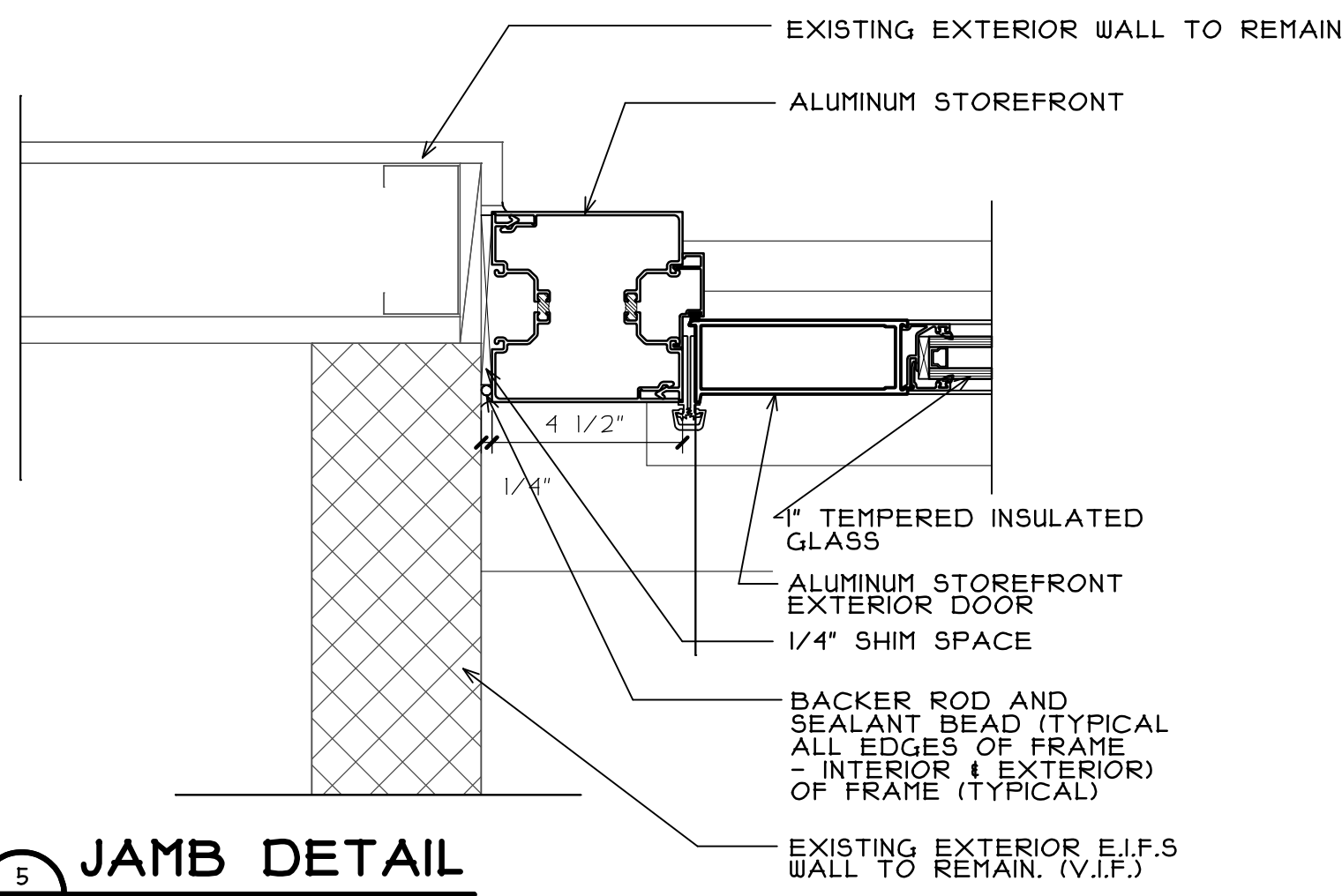
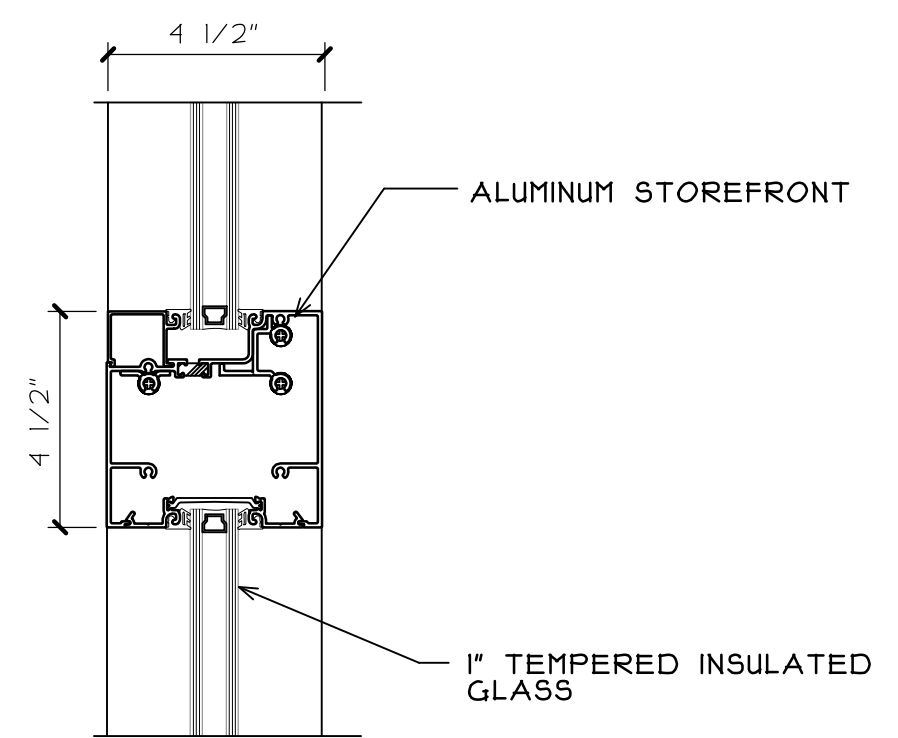
**STOREFRONT ELEVATIONS**

SCALE: 1/4" = 1'-0"



**DOOR AND FRAME TYPES**

SCALE: 1/4" = 1'-0"



- ALUMINUM STOREFRONT
- 1" TEMPERED INSULATED GLASS
- EXISTING EXTERIOR WALL TO REMAIN.
- ALUMINUM STOREFRONT EXTERIOR DOOR
- 1/4" SHIM SPACE
- BACKER ROD AND SEALANT BEAD (TYPICAL ALL EDGES OF FRAME - INTERIOR & EXTERIOR) OF FRAME (TYPICAL)
- EXISTING EXTERIOR E.I.F.S. WALL TO REMAIN. (V.I.F.)

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BUILDING - A, THIRD FLOOR  
JOLIET JUNIOR COLLEGE  
1215 HOBOLT ROAD,  
JOLIET, ILLINOIS

DATE: 1/25/2022  
REVISED:

PROJECT NO. 2107-05

SHEET NUMBER

**A2**

OF 2 SHEETS